

# DESCANSO OFFICE RELOCATION PROJECT

## ADDENDUM 2

ISSUE DATE: OCTOBER 24, 2023

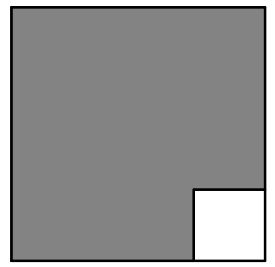
### NOTIFICATION OF ADDITIONAL INFORMATION FOR THE DESCANSO OFFICE RELOCATION PROJECT:

- 1) A **Request for Information** (RFI) was received and the response is posted on the District's website:  
[https://www.meusd.org/documents/RFI-1\\_Responses.pdf](https://www.meusd.org/documents/RFI-1_Responses.pdf)
  
- 2) The **Hazardous Materials Report** is posted on the District's website:  
<https://www.meusd.org/documents/Mountain-Empire-USD-DES-Limited-Asbestos-and-Lead-Paint-Inspection-Report-9-14-2021.pdf>
  
- 3) The **Revised Architectural Drawings** are included in this Addendum:  
Revised architectural drawings Sheets T-001 through A-902 are attached, which have been amended to address DSA plan review comments. Please utilize Electrical Drawings sheets E-1.0 through E-6.1 that were originally issued for bidding purposes.

~ ~ ~ END ~ ~ ~

# OFFICE IMPROVEMENTS DESCANSO ELEMENTARY

ALPHASTUDIO DESIGN GROUP



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CARLSBAD, 92009  
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ARCHITECT OF RECORD



ENGINEER OF RECORD

## SHEET INDEX

SHEET TOTAL: 37

### ARCHITECTURAL

#### COVER SHEET & GENERAL INFO

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- T-003 ABBREVIATIONS AND TYPICAL SYMBOLS
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- E-4.3 COMMUNICATION DETAILS
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- E-4.6 COMMUNICATION DETAILS
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- E-5.3 FIRE ALARM CALCULATIONS
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## PROJECT DIRECTORY

CLIENT:  
MOUNTAIN EMPIRE UNIFIED  
SCHOOL DISTRICT  
3291 BUCKMAN SPRINGS RD  
PINE VALLEY, CA  
91962

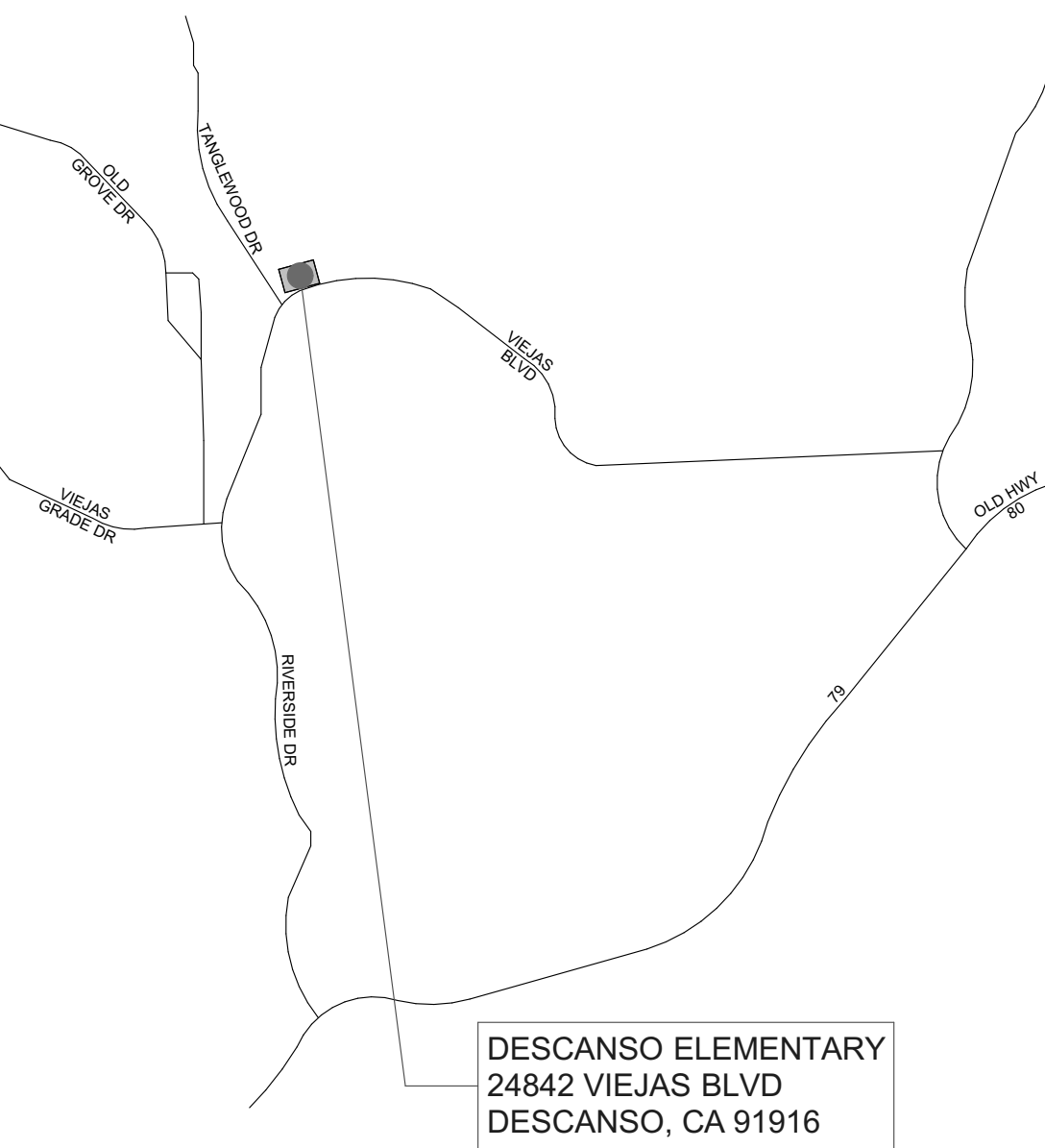
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## PROJECT SCOPE

THE SCOPE OF THE PROJECT INCLUDES CONVERSION OF A CLASSROOM INTO THE ADMINISTRATION IN 'BUILDING A' AT DESCANSO ELEMENTARY SCHOOL. THE DESIGN WILL CONSIST OF INTERIOR IMPROVEMENTS INCLUDING NON-BEARING PARTITIONS, DOORS, FINISHES, CASEWORK, CEILING MODIFICATIONS, ELECTRICAL POWER, LOW VOLTAGE, AND FIRE ALARM, DOOR ACCESS CONTROL, AND HVAC DISTRIBUTION MODIFICATIONS. IN ADDITION TO THE INTERIOR IMPROVEMENTS, SITEWORK WILL INCLUDE THE REPLACEMENT OF THE ACCESSIBLE PEDESTRIAN RAMP AT BUILDING ENTRANCE.

## VICINITY MAP



## OFFICE IMPROVEMENTS

DESCANSO ELEMENTARY  
24842 VIEJAS BLVD  
DESCANSO, CA 91916  
MOUNTAIN EMPIRE UNIFIED SCHOOL DISTRICT  
3291 BUCKMAN SPRINGS RD PINE VALLEY CA 91962

### REVISIONS

MARK	DATE	DESCRIPTION

PROJECT NO: 23-027

MODEL FILE:  
23-027 MEUSD Descanso ES\_DRAFT\_23-10-11.pln

PLOT DATE:  
10/24/2023

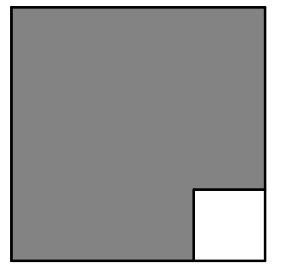
SHEET TITLE

COVER SHEET

T-001

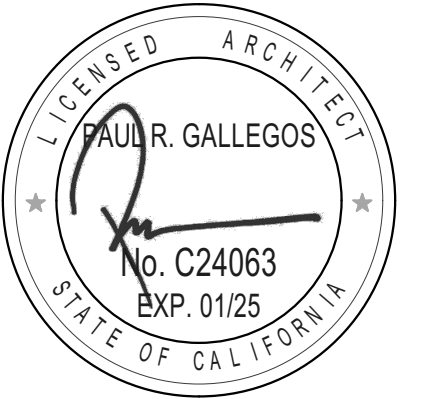
# OFFICE IMPROVEMENTS DESCANSO ELEMENTARY

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## GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE CODES LISTED ON THIS SHEET. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH ALL CODES AND ORDINANCES, CITY OR STATE AS REQUIRED FOR THE CONSTRUCTION OF THE FOLLOWING PROJECT. WHERE CONFLICTS OCCUR BETWEEN FEDERAL, STATE, AND LOCAL LAWS, CODES, ORDINANCES, AND REGULATIONS, THE MOST STRINGENT SHALL GOVERN.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF BOTH THE UNIFORM BUILDING CODE AND TITLE 24, CALIFORNIA CODE OF REGULATIONS.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF WORK. THE EXISTING CONDITIONS SHALL INCLUDE, BUT NOT BE LIMITED TO: IRRIGATION, DRAINAGE, SITE MECHANICAL, PLUMBING, AND ELECTRICAL. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN SITE CONDITIONS AND CONTRACT DOCUMENTS. FAILURE TO NOTIFY WHILE PROCEEDING WITH WORK SHALL IMPLY ACCEPTANCE OF THE SITE CONDITIONS BY THE CONTRACTOR FOR THE WORK INTENDED.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE AND SAFE BRACING TO SUPPORT THE COMPONENTS OF THE STRUCTURE UNTIL THE STRUCTURE ITSELF, FLOOR AND ROOF DIAPHRAGMS ARE COMPLETE ENOUGH TO SUPPORT ITSELF. THE SAFETY AND ERECTION OF BRACING SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THERE ARE NO DISCREPANCIES BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTING ENGINEER'S DRAWINGS WHICH WOULD CAUSE A CONFLICT IN THE INSTALLATION OF THE SYSTEMS. IF SUCH A CONFLICT DOES OCCUR, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ALERT THE ARCHITECT TO THE SITUATION PRIOR TO INSTALLATION. ANY WORK INSTALLED IN CONFLICT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REMEDY WITH NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL REFER TO THE SPECIFICATIONS FOR A COMPLETE LIST OF GENERAL CONDITIONS, SPECIAL CONDITIONS, AND MATERIAL INSTALLATION METHODOLOGY.
- TYPICAL NOTES AND DETAILS SHALL APPLY UNLESS SHOWN OTHERWISE. WHERE A CONSTRUCTION DETAIL IS NOT SHOWN OR NOTED, THE DETAIL SHALL BE THE SAME AS FOR A SIMILAR CONDITION.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS, SERVICES, POINTS OF CONNECTION, AND IRRIGATION LINES IN THE CONSTRUCTION AREA PRIOR TO COMMENCEMENT OF WORK. IF PROPER VERIFICATION IS NOT DONE PRIOR TO WORK COMMENCING, AND DAMAGE IS INCURRED THE CONTRACTOR SHALL REPAIR THE DAMAGE AT NO COST TO THE OWNER.
- ALL DRAWINGS ARE FOR ILLUSTRATION ONLY. THE CONTRACTOR AND SUBCONTRACTORS, SHALL NOT LOCATE ITEMS BY SCALING. IF ITEMS ARE MISLOCATED DUE TO SCALING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND CORRECTLY INSTALLING THE ITEMS AT NO EXPENSE TO THE OWNER.
- IT IS THE INTENT OF THESE DRAWINGS TO INDICATE A COMPLETE AND FINISHED PRODUCT AND / OR ABUTING EXISTING CONDITION IN A FINISHED AND PROFESSIONAL MANNER.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO KEEP THE AREA AROUND THE WORK IN A CLEAN AND SAFE CONDITION. ALL TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER. AREA OF WORK SHALL BE COMPLETELY CLEANED AND READY FOR OCCUPANCY UPON COMPLETION OF WORK.
- ALL WORK SHALL CONFORM TO TITLE 24 CA CODE OF REGULATIONS. A COPY OF TITLE 24, PARTS 1-5, SHALL BE AVAILABLE ON THE JOBSITE AT ALL TIMES.
- CHANGES TO THE APPROVED DRAWINGS SHALL BE MADE BY ADDENDA OR CONSTRUCTION CHANGE DOCUMENT (CCD) APPROVED BY DSA, AS REQUIRED BY SEC. 4-338, PART 1, T-24, CCR. ALL ADDENDA AND CONSTRUCTION CHANGE DOCUMENTS SHALL BE SIGNED BY THE ARCHITECT.
- A PROJECT INSPECTOR EMPLOYED BY THE OWNER AND APPROVED BY DSA, ARCHITECT OF RECORD & STRUCTURAL ENGINEER OF RECORD (WHERE APPLICABLE), SHALL PROVIDE CONTINUOUS INSPECTION OF THE WORK. THE DUTIES OF THE INSPECTOR ARE DEFINED IN SECTION 4-342 PART 1, T-24 CCR. THE INSPECTOR SHALL BE A CLASS 3.
- A DSA ACCEPTED TESTING LABORATORY DIRECTLY EMPLOYED BY THE OWNER SHALL CONDUCT ALL REQUIRED TESTING AND SPECIAL INSPECTIONS FOR THE PROJECT AS IDENTIFIED ON THE DSA 103 TESTING AND INSPECTION FORM.
- FOOD HANDLING FACILITIES SHALL COMPLY WITH ALL LOCAL HEALTH REQUIREMENTS AND CALIFORNIA UNIFORM RETAIL FOOD FACILITIES LAWS.
- THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OF NONCOMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS, A CCD, OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE DIVISION OF STATE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- THE ARCHITECT AND OR ENGINEER SHALL MAKE PERIODIC SITE VISITS DURING CONSTRUCTION TO OBSERVE THE PROGRESS OF THE WORK AND VERIFY GENERAL CONFORMANCE TO THE PLANS AND SPECIFICATIONS IS BEING MET. THESE VISITS DO NOT CONSTITUTE A GUARANTEE OF THE CONTRACTOR'S WORK. A CONTRACTOR'S ERROR THAT GOES UNDETECTED DURING A PERIODIC VISIT DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR PROPERLY PERFORMING THE SCOPE OF THE PROJECT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ADJACENT STRUCTURES, PROPERTY, AND SITE FEATURES DURING CONSTRUCTION. ANY DAMAGE TO SUCH ITEMS SHALL BE PROMPTLY RESTORED TO THE SATISFACTION OF THE OWNER AND ARCHITECT.
- CONTRACTORS AND SUBCONTRACTORS ARE REQUIRED TO SUBMIT THEIR BIDS BASED ON ALL DRAWINGS AND SPECIFICATIONS, NOT SOLELY THE SHEETS OR SECTIONS RELEVANT TO THEIR TRADE.
- THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE COMPLIMENTARY IN NATURE, HOWEVER IF A DISCREPANCY OCCURS BETWEEN THE TWO DOCUMENTS, THE MORE STRINGENT REQUIREMENT AND HIGHEST LEVEL OF QUALITY SHALL TAKE PRECEDENCE.
- ALL DETAILS PROVIDED IN THE CONSTRUCTION DOCUMENTS ARE A PART OF THE CONSTRUCTION SCOPE REGARDLESS OF WHETHER THEY ARE SPECIFICALLY REFERENCED.

## GENERAL DEMOLITION NOTES

- DEMOLITION PLANS REFERENCE GENERAL ITEMS AND CONDITION VARIATIONS MAY OCCUR WITHIN AREA OF DEMOLITION AND SHALL BE TREATED AS SIMILAR.
- NOT ALL LOCATIONS FOR DEMOLITION MAY BE NOTED. CONTRACTOR SHALL REVIEW THE PROJECT REQUIREMENTS AND BE FAMILIAR WITH THE EXISTING SITE CONDITIONS FOR EVALUATION OF DEMOLITION WORK NECESSARY TO COMPLETE THE NEW WORK.
- KEY NOTES REFERENCE GENERAL ELEMENTS FOR DISPOSAL OR SALVAGE. VARIOUS ASSOCIATED ITEMS MAY OCCUR AND SHALL BE REMOVED ACCORDING TO THE NEEDS AND DESIGN INTENT OF THE NEW CONSTRUCTION.
- THE CONTRACTOR SHALL NOT REMOVE OR ALTER ANY BUILDING ELEMENTS OR SYSTEMS NECESSARY FOR THE BUILDING'S STRUCTURAL INTEGRITY WITHOUT PRIOR AUTHORIZATION FROM THE ARCHITECT AND/OR STRUCTURAL ENGINEER OF RECORD.
- CONTRACTOR SHALL NOT ALTER OR REMOVE ANY SHEAR WALLS OR BEARING WALLS UNLESS IDENTIFIED ON THE DRAWINGS WITH APPROPRIATE DETAILS. THE CONTRACTOR SHALL TAKE PRECAUTIONS DURING DEMOLITION AND CONSTRUCTION ACTIVITIES TO NOT EFFECT THE EXISTING STRUCTURAL SYSTEM OF THE BUILDING. IF DURING THE COURSE OF THE WORK, ELEMENTS THAT ARE IDENTIFIED TO BE DEMOLISHED, BUT APPEAR STRUCTURAL IN NATURE AND NOT IDENTIFIED AS SUCH, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY. THE CONTRACTOR SHALL NOT PROCEED WITH THE DEMOLITION OF SUCH ELEMENTS WITHOUT THE DIRECTION OF THE ARCHITECT AND/OR STRUCTURAL ENGINEER OF RECORD.
- AFTER THE DEMOLITION AND REMOVAL OF ELEMENTS, REPAIR AND RESTORE EXISTING FINISHES TO BE LEFT EXPOSED TO THEIR ORIGINAL CHARACTER. WHERE EXISTING FINISHES ARE TO BE HIDDEN WITH NEW MATERIALS, THOSE FINISHES SHALL BE RESTORED TO PROVIDE ADEQUATE SUITABILITY, STRENGTH, AND SUBSTRATE FOR NEW CONSTRUCTION AND FINISHES.
- CONTRACTOR SHALL COMPLY WITH THE FOLLOWING SECTIONS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION:  
5-2 PROTECTION  
5-3 REMOVAL  
5-4 RELOCATION  
7-8 PROJECT SITE MAINTENANCE  
7-9 PROTECTION AND RESTORATION OF EXIST. IMPROVEMENTS  
7-10 PUBLIC CONVENIENCE AND SAFETY
- SAFETY DURING CONSTRUCTION SHALL COMPLY WITH CHAPTER 33 C.B.C. AND CHAPTER 33 C.F.C.
- THE CONTRACTOR SHALL DISPOSE OF DEMOLITION MATERIALS IN A LEGAL AND ACCEPTABLE MANNER.
- CONTRACTOR SHALL MAKE AVAILABLE TO OWNER ANY MATERIALS OR EQUIPMENT LISTED FOR DEMOLITION, DISPOSAL, REMOVAL, ETC. UPON OWNERS REQUEST, OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL SALVAGABLE ITEMS.
- CONTRACTOR SHALL KEEP OPERATING EQUIPMENT OR MATERIALS INDICATED FOR REUSE, RELOCATION, OR OWNER RETENTION IN A SAFE MANNER TO PROTECT THE MATERIAL OR EQUIPMENT FROM DAMAGE.
- THE CONTRACTOR IS RESPONSIBLE TO PERFORM ALL DEMOLITION WORK NECESSARY TO ALLOW EXECUTION OF ALL REQUIREMENTS OF THE NEW CONSTRUCTION UNDER THIS CONTRACT. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS.
- THE RECORD DRAWINGS FOR THE FACILITIES TO BE MODERNIZED MAY BE AVAILABLE FROM THE DISTRICT FOR REFERENCE. CONTRACTOR SHALL REQUEST DRAWINGS OR OTHER OWNER SUPPLIED DOCUMENTS PRIOR TO BEGINNING DEMOLITION OR CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL REVIEW THE RECORD DOCUMENTS TO DETERMINE ANY CONDITIONS WHERE CONFLICTS, HARDSHIPS, OR SIMILAR ISSUES MAY ARISE. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS WHERE CONFLICTS MAY ARISE PRIOR TO DEMOLITION OR CONSTRUCTION ACTIVITIES.
- AREA OF FLOOR SLAB OR PAVING DEMOLITION IS SHOWN AS AN APPROXIMATION ONLY TO DEFINE GENERAL SCOPE OF WORK. EXISTING CONDITIONS MAY REQUIRE A LARGER / DIFFERENTLY CONFIGURED AREA OF DEMOLITION. REMOVAL SHALL BE IN ACCORDANCE TO THE NEEDS AND DESIGN INTENT OF THE NEW CONSTRUCTION. COORDINATE DEMOLITION REQUIREMENTS WITH CIVIL, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DESIGN AND DRAWINGS.
- ALL FLOOR SLAB AND/OR PAVING SAWCUTS SHALL BE DONE IN A MANNER THAT CREATES A SHARP, STRAIGHT, AND SQUARE EDGE. SAW CUT EDGES EXPOSED FOR LONG DURATIONS DURING CONSTRUCTION SHALL BE PROTECTED BY THE CONTRACTOR IN ORDER TO LIMIT CHIPPING OF CONCRETE EDGE. IF CHIPPING OR OTHER DAMAGE OCCURS, CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ADDITIONAL FLOOR SLAB AND/OR PAVING TO NEXT AVAILABLE JOINT OR AS DETERMINED BY ARCHITECT AT THE CONTRACTOR'S OWN COST.
- WHERE EQUIPMENT AND/OR FIXTURES ARE INDICATED TO BE REMOVED ALL RELATED EXPOSED PIPING, CONDUITS, AND ASSOCIATED ITEMS SHALL ALSO BE REMOVED AND/OR PROPERLY TERMINATED TO PROVIDE COMPLETE DEMOLITION.
- WHERE EXISTING CONSTRUCTION ELEMENTS (FRAMING, FINISHES, PIPES, CONDUITS, DUCTWORK, EQUIPMENT, ETC.) INTERFERE WITH THE INTENDED NEW CONSTRUCTION OR WOULD BE EXPOSED IN OTHERWISE 'FINISHED' AREAS, THESE ITEMS SHALL ALSO BE REMOVED AND/OR RELOCATED.
- AT DEMOLITION OF DOORS, WINDOWS, FLASHINGS, SOFFITS, ETC. WHERE PLASTER IS DISTURBED AT FINISHES TO REMAIN, REMOVE PLASTER BACK 6" MINIMUM TO EXPOSE LATH TO PERFORM PROPER PLASTER PATCH.
- REFER TO STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ALL DEMOLITION WORK SPECIFIC TO THOSE BUILDING SYSTEMS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REQUEST ANY HAZARDOUS ABATEMENT DOCUMENTS FOR THE SCOPE OF WORK TO FULLY UNDERSTAND THE EXTENT OF REMOVAL AND DISPOSAL REQUIREMENTS FOR THOSE MATERIALS.
- ALL ABATEMENT WORK SHALL BE COMPLETED BY THE CONTRACTOR PRIOR TO DEMOLITION WORK.

## GENERAL ACCESSIBILITY NOTES

- EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE. HAND-ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 36" TO 42" ABOVE THE FLOOR (PANIC HARDWARE SHALL BE BETWEEN 36" TO 44" ABOVE FIN. FLR.). LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND IN A PATH OF TRAVEL, SHALL BE OPENABLE WITH A SINGLE EFFORT BY LEVER-TYPE HARDWARE, BY EXIT DEVICE, OR PUSH-PULL ACTIVATING BARS. LOCKED EXIT DOORS SHALL OPERATE BY ABOVE IN DIRECTON OF EGRESS.
- MAXIMUM EFFORT TO OPEN DOORS SHALL NOT EXCEED 5.0 POUNDS FOR EXTERIOR AND INTERIOR DOORS; SUCH PUSH OR PULL EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS.
- DOOR CLOSERS AND GATES CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM.
- THE FLOOR OR LANDING SHALL NOT BE MORE THAN 1/2 INCH LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGE IN LEVEL BETWEEN 1/4 AND 1/2 INCH SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1 UNIT VERTICAL TO 2 UNITS HORIZONTAL.
- ACCESSIBLE FIXTURES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH CALIFORNIA PLUMBING CODE, 2022 EDITION.
- EXPOSED LAVATORY P-TRAP ASSEMBLIES AND WATER SUPPLY LINES SHALL BE INSTALLED WITH REMANUFACTURED VINYL COVERED P-TRAP, VALVE, AND SUPPLY INSULATED COVER.
- THE FORCE REQUIRED TO OPERATE LAVATORY OR SINK FAUCETS SHALL BE NO GREATER THAN 5 POUNDS. SELF-CLOSING FAUCETS SHALL HAVE A MINIMUM 10 SECOND CYCLE TIME.
- ALL ACCESSIBLE GATES WITHIN THE PATH OF TRAVEL SHALL HAVE NON-GRIP HARDWARE MOUNTED BETWEEN 34" TO 44" ABOVE FINISH PAVING. THERE SHALL BE 24" MINIMUM CLEAR SPACE PROVIDED AT THE STRIKE SIDE OF THE GATE FOR ACCESSIBLE MANEUVERING CLEARANCES.
- ALL DIMENSIONS FOR ACCESSIBLE COMPONENTS, FEATURES, OR CLEAR FLOOR SPACE ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
- WHERE FLOOR DRAINS ARE PROVIDED, FINISHED SURFACE SHALL SLOPE TO DRAIN NO MORE THAN 2% IN ANY DIRECTION. FLOOR DRAINS AND FLOOR SINKS SHALL HAVE 1/2" MAXIMUM GRATE OPENINGS IN ALL DIRECTION.
- ACCESSIBLE PATH OF TRAVEL (POT) SHALL BE A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" BEVELED 1/2 MAX SLOPE OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX. POT SHALL BE AT LEAST 48" IN WIDTH WITH A STABLE, FIRM, AND SLIP RESISTANT SURFACE. CROSS SLOPE SHALL NOT EXCEED 2% MAX AND THE SLOPE IN THE DIRECTION OF TRAVEL SHALL NOT EXCEED 5%. POT SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM ABOVE FINISHED SURFACE AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM THE WALL AND 27" ABOVE FINISHED SURFACE, BUT LESS THAN 80" ABOVE FINISHED SURFACE. REFERENCE CBC 11B-202.4.
- OPENINGS IN GRATINGS OR STRAINERS LOCATED IN THE PEDESTRIAN CIRCULATION PATHS OR PATH OF TRAVEL SHALL NOT ALLOW PASSAGE OF A SPHERE MORE THAN 1/2" DIAMETER. ELONGATED OPENINGS SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL IN COMPLIANCE WITH CBC 11B-302.
- GATES IN THE PATH OF TRAVEL SHALL COMPLY WITH EXIT DOOR REQUIREMENTS.

## DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT

THE PATH OF TRAVEL (POT) IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS, AND STRUCTURAL REPAIRS AS PART OF THE DESIGN OF THIS PROJECT. THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS, OR PORTIONS OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT HAVE BEEN IDENTIFIED AND, THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT THROUGH DETAILS, DRAWINGS, AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS.

ANY NONCOMPLIANT ELEMENTS, COMPONENTS, OR PORTIONS OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARDSHIP ARE INDICATED IN THESE CONSTRUCTION DOCUMENTS.

DURING CONSTRUCTION, IF POT ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS COMPLIANT ARE FOUND TO BE NON-CONFORMING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE BY MEANS OF A CONSTRUCTION CHANGE DOCUMENT (CCD).

## LIST OF APPLICABLE CODES

- 2022 CALIFORNIA ADMINISTRATIVE CODE (C.A.C.), PART 1, TITLE 24, C.C.R.
- 2022 CALIFORNIA BUILDING CODE (C.B.C.) PART 2, TITLE 24, C.C.R.
- 2022 CALIFORNIA ELECTRIC CODE (C.E.C.), PART 3, TITLE 24, C.C.R.
- 2022 CALIFORNIA MECHANICAL CODE (C.M.C.) PART 4, TITLE 24, C.C.R.
- 2022 CALIFORNIA PLUMBING CODE (C.P.C.), PART 5, TITLE 24, C.C.R.
- 2022 CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24, C.C.R.
- 2022 CALIFORNIA EXISTING GREEN BUILDING STANDARDS CODE (CALGREEN), PART 11, TITLE 24, C.C.R.
- 2022 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24, C.C.R.
- TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS
- 2022 CBC AND CFC CHAPTER 33 - FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION

ALL WORK SHALL CONFORM TO 2022 TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR).

FABRICATION AND INSTALLATION OF DEFERRED SUBMITTAL ITEMS SHALL NOT BE STARTED UNTIL CONTRACTOR DRAWINGS, SPECIFICATIONS, AND ENGINEERING CALCULATIONS FOR THE ACTUAL SYSTEMS TO BE INSTALLED HAVE BEEN ACCEPTED AND SIGNED BY THE ARCHITECT OR STRUCTURAL ENGINEER AND APPROVED BY THE DSA. LIST DEFERRED SUBMITTAL ITEMS FOR THIS PROJECT.

CHANGES TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY AN ADDENDUM OR A CONSTRUCTION CHANGE DOCUMENT (CCD) APPROVED BY THE DIVISION OF THE STATE ARCHITECT, AS REQUIRED BY SECTION 4-338, PART 1, TITLE 24, CCR.

A "DSA CERTIFIED" PROJECT INSPECTOR EMPLOYED BY THE DISTRICT (OWNER) AND APPROVED BY THE DSA SHALL PROVIDE CONTINUOUS INSPECTION OF THE WORK. THE DUTIES OF THE INSPECTOR ARE DEFINED IN SECTION 4-342, PART 1, TITLE 24, CCR. A MINIMUM CLASS 3 INSPECTOR IS REQUIRED.

A DSA ACCEPTED TESTING LABORATORY DIRECTLY EMPLOYED BY THE DISTRICT (OWNER) SHALL CONDUCT ALL THE REQUIRE TESTS AND INSPECTIONS FOR THE PROJECT.

THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATIONS, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CCR. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CCR, A CONSTRUCTION CHANGE DOCUMENT (CCD), OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY DSA BEFORE PROCEEDING WITH THE WORK. (SECTION 4-317(C), PART 1, TITLE 24, CCR).

GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.

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DESCANSO, CA 91916

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REVISIONS		
MARK	DATE	DESCRIPTION

PROJECT NO: 23-027  
MODEL FILE:  
23-027 MEUSD Descanso ES\_DRAFT\_23-10-11.pln  
PLOT DATE:  
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SHEET TITLE

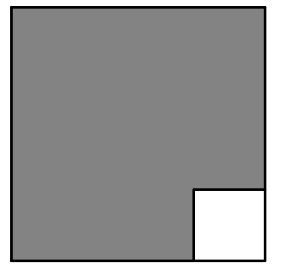
APPLICABLE CODES AND  
GENERAL NOTES

T-002



# OFFICE IMPROVEMENTS DESCANSO ELEMENTARY

ALPHASTUDIO DESIGN GROUP

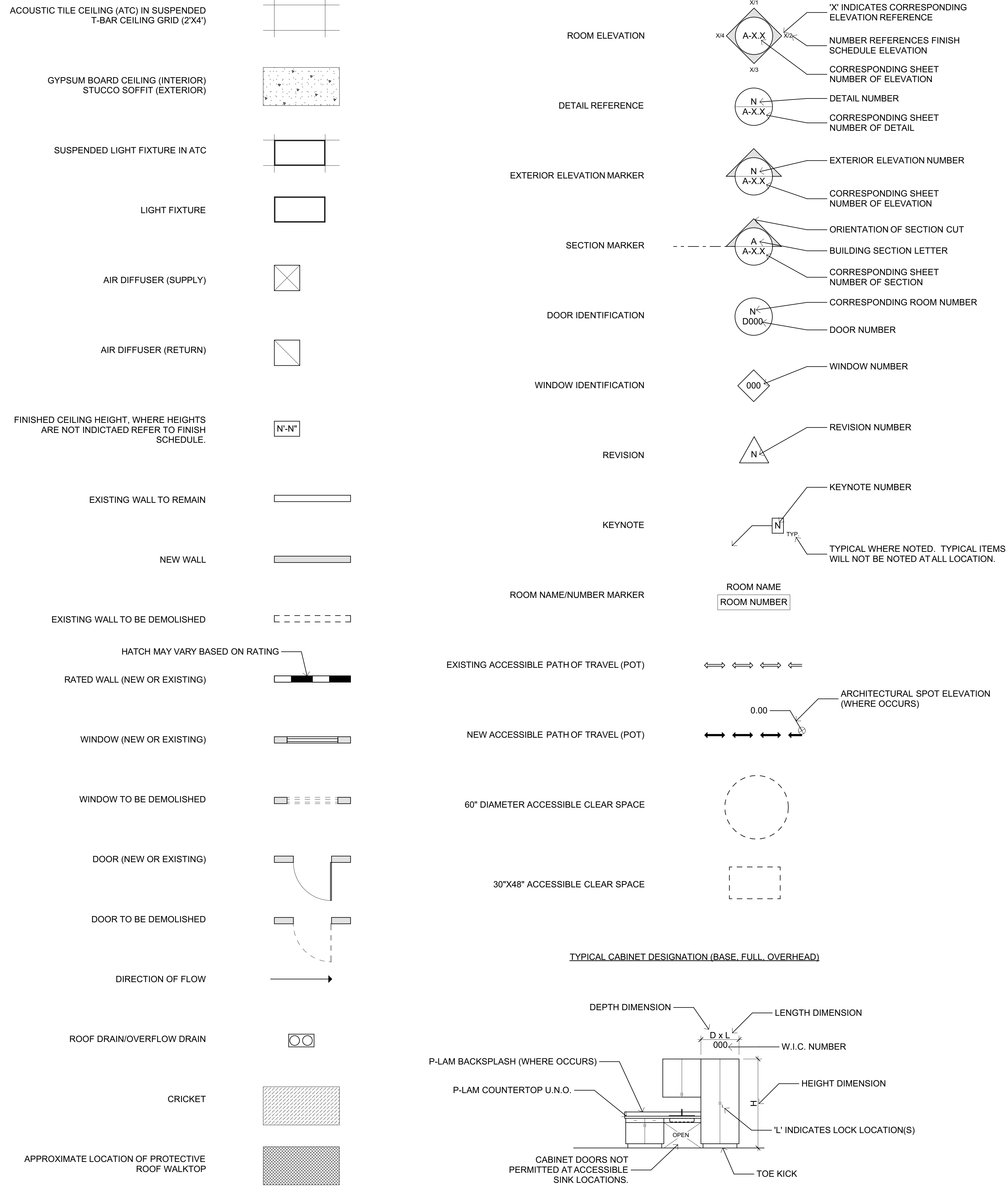


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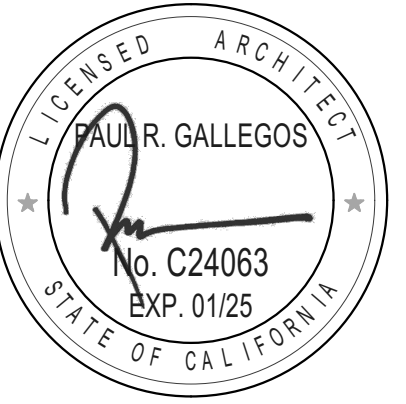
## STANDARD ABBREVIATIONS

&	AND	GA.	GAUGE	STD.	STANDARD
<	ANGLE	GALV.	GALVANIZED	STL.	STEEL
@	AT	GB.	GRAB BAR	ST.	STEEL
A	AMP	GC.	GENERAL CONTRACTOR	STO.	STORAGE
AB.	ANCHOR BOLT	GL.	GLASS	STRUC.	STRUCTURAL
ABV.	ABOVE	GI.	GALVANIZED IRON	STR.	STRUCTURAL
AC.	ASPHALT	GND.	GROUND	SUSP.	SUSPENDED
A/C.	AIR CONDITIONING	GPDW.	GYPSUM DRYWALL	SYM.	SYMMETRICAL
ACOUS.	ACOUSTICAL	GRD.	GRADE	T	TREAD
AD.	AREA DRAIN	GV.	GATE VALVE	TB.	TOWEL BAR
ADJ.	ADJUSTABLE	GYP.	GYPSUM	T&B	TOP AND BOTTOM
AGGR.	AGGREGATE	HB.	HOSE BIB	TOC	TOP OF CURB
AFF.	ABOVE FINISH FLOOR	HC.	HOLLOW CORE	TEL.	TELEPHONE
AL.	ALUMINUM	HD.	HEADER	TEM.	TEMPERED
AP.	ACCESS PANEL	HDR.	HEADER	TER.	TERAZZO
APPROX.	APPROXIMATE	HDW.	HARDWARE	TF.	TOP OF FOOTING
ARCH.	ARCHITECTURAL	HM.	HOLLOW METAL	T&G	TONGUE AND GROOVE
ASC.	ABOVE SUSPENDED CEILING	HW.	HARDWARE	THK.	THICK
AS.	AUTOMATIC SPRINKLER	HDWD.	HANDRAIL	TP.	TOP OF PARAPET
AUTO.	AUTOMATIC	HORIZ.	HORIZONTAL	TPD.	TOILET PAPER DISPENSER
BD.	BOARD	HVAC.	HEATING, VENTILATING, AIR CONDITIONING	TS	TOP OF STRUCTURE
BFG.	BELOW FINISH GRADE	ID.	INSIDE DIAMETER	TTB.	TELEPHONE TERMINAL BACKBOARD
BITUM.	BITUMINOUS	IE.	INVERT ELEVATION	TV.	TELEVISION
BLDG.	BUILDING	IF.	INSIDE FACE	TOW.	TOP OF WALL
BLK.	BLOCK	IN.	INCH	TYP.	TYPICAL
BM.	BEAM	INC.	INCLUDE	UG.	UNDERGROUND
BRG.	BEARING	INFO.	INFORMATION	UNF.	UNFINISHED
BRK.	BRICK	INSUL.	INSULATION	UNO	UNLESS NOTED OTHERWISE
BOT.	BOTTOM	INT.	INTERIOR	UNO	UNLESS OTHERWISE NOTED
BTU.	BRITISH THERMAL UNIT	INV.	INVERT	UR	URINAL
C.	CONDUIT	JAN.	JANITOR	UTIL.	UTILITY
CAB.	CABINET	JST.	JOIST	VAR.	VARIES
CB.	CATCH BASIN	JT.	JOINT	VB.	VAPOR BARRIER
CD.	CEILING DIFFUSER	KIT.	KITCHEN	VCT.	VINYL COMPOSITION TILE
CEM.	CEMENT	KP.	KICK PLATE	VERT.	VERTICAL
CER.	CERAMIC	KVA	KILOVOLT AMPERES	VEST.	VESTIBULE
CF.	CUBIC FEET	KW	KILOWATT	VIF.	VERIFY IN FIELD
CFM.	CUBIC FEET PER MINUTE	MAS.	MASONRY	VTR.	VENT THROUGH ROOF
CG.	CORNER GUARD	MATL.	MATERIAL	W	WEST
CI.	CAST IRON	MAX.	MAXIMUM	W/	WITH
CIP.	CAST IN PLACE	MC.	MEDICINE CABINET	WC.	WATER CLOSET
CKT. BKR.	CIRCUIT BREAKER	MECH.	MECHANICAL	WCO.	WALL CLEAN OUT
CL.	CENTERLINE	MFR.	MANUFACTURER	WD.	WOOD
CLG.	CEILING	MH.	MANHOLE	WDW.	WINDOW
CLR.	CLEAR	MIN.	MINIMUM	WH.	WATER HEATER
CMU.	CONCRETE MASONRY UNIT	MIR.	MIRROR	W/O	WITHOUT
CNTR.	COUNTER	MISC.	MISCELLANEOUS	WP.	WATERPROOF
CO.	CLEANOUT	MO.	MASONRY OPENING	WSCT.	WAINSCOT
COTG.	CLEANOUT TO GRADE	MTD.	MOUNTED	WT.	WEIGHT
COL.	COLUMN	MTL.	METAL	WWF.	WELDED WIRE FABRIC
CONC.	CONCRETE	MUL.	MULLION	WWW.	WELDED WIRE MESH
CONN.	CONNECTION	N.	NORTH		
CPT.	CARPET	NIC.	NOT IN CONTRACT		
CTR.	CENTER	NO.	NUMBER		
CTSK.	COUNTERSINK	NOM.	NOMINAL		
CW.	COLD WATER	NTS.	NOT TO SCALE		
D.	DRAIN	OA.	OUTSIDE AIR		
DBL.	DOUBLE	O/A	OVERALL		
DEPT.	DEPARTMENT	OBS.	OBSOLETE		
DET.	DETAIL	OC.	ON CENTER		
DF.	DINKING FOUNTAIN	OD.	OUTSIDE DIAMETER		
DIA.	DIAMETER	OFF.	OFFICE		
DIM.	DIMENSION	OH.	OPPOSITE HAND		
DISP.	DISPENSER	OPNG.	OPENING		
DMT.	DEMOUNTABLE	OPSET	OPPOSITE		
DN.	DOWN	OVHD.	OVERHEAD		
DO.	DOOR OPENING	PAV.	PAVING		
DR.	DRAIN	PC.	PRECAST CONCRETE		
DS.	DOWNSPOUT	PCC.	PORTLAND CEMENT CONCRETE		
DWG.	DRAWING	PHP.	PARTIAL HEIGHT PARTITION		
DWR.	DRAWER	PLT.	PLATE		
EXIST.	EXISTING	PL	PROPERTY LINE		
E.	EAST	PLAM	PLASTIC LAMINATE		
EA.	EACH	PLAS.	PLASTER		
EF.	EXHAUST FAN	PLYWD.	PLYWOOD		
EJ.	EXPANSION JOINT	PLUMB.	PLUMBING		
ELEC.	ELECTRICAL	POC.	POINT OF CONNECTION		
ELEV.	ELEVATOR	PP.	POWER POLE		
EMER.	EMERGENCY	PRCST	PRE-CAST		
ENCL.	ENCLOSURE	PSI.	POUNDS PER SQUARE INCH		
EP.	ELECTRICAL PANELBOARD	PT.	POINT		
EQ.	EQUAL	PTD.	PAPER TOWEL DISPENSER		
EQUIP.	EQUIPMENT	PTN.	PARTITION		
EW.	EACH WAY	PVMT.	PAVEMENT		
EW.	ELECTRIC WATER COOLER	QT.	QUARRY TILE		
FD.	FLOOR DRAIN	R.	RISER		
FDN.	FOUNDATION	RAD.	RADIUS		
FE.	FIRE EXTINGUISHER	RD.	ROOF DRAIN		
FEC.	FIRE EXTINGUISHER CABINET	REF.	REFERENCE		
FF.	FINISH FLOOR	REFR.	REFRIGERATOR		
FG.	FINISH GRADE	REINF.	REINFORCED		
FH.	FIRE HYDRANT	REQ'D.	REQUIRED		
FHC.	FIRE HOUSE CABINET	REV.	REVISION		
FIN.	FINISH	RESIL.	RESILIENT		
FL.	FLOOR	RM.	ROOM		
FLR.	FLOOR	RO.	ROUGH OPENING		
FLUR.	FLOURESCENT	RDWD.	REDWOOD		
FOC.	FACE OF CONCRETE	S.	SOUTH		
FOF.	FACE OF FINISH	SC.	SOLID CORE		
FOM.	FACE OF MASONRY	SCHED.	SCHEDULE		
FOS.	FACE OF STUD	SD.	SOAP DISPENSER		
FPRF.	FIREPROOFING	SECT.	SECTION		
FS.	FINISH SURFACE	SF.	SQUARE FOOT		
FT.	FOOT	SH.	SHELF		
FTG.	FOOTING	SHR.	SHOWER		
FUT.	FUTURE	SHT.	SHEET		
		SIM.	SIMILAR		
		SMH.	SEWER MANHOLE		
		SND.	SANITARY NAPKIN DISPENSER		
		SOV.	SHUT OFF VALVE		
		SPEC.	SPECIFICATIONS		
		SPKR.	SPRINKLER		
		SQ.	SQUARE		
		SS.	STAINLESS STEEL		
		STA.	STATION		

## TYPICAL SYMBOLS



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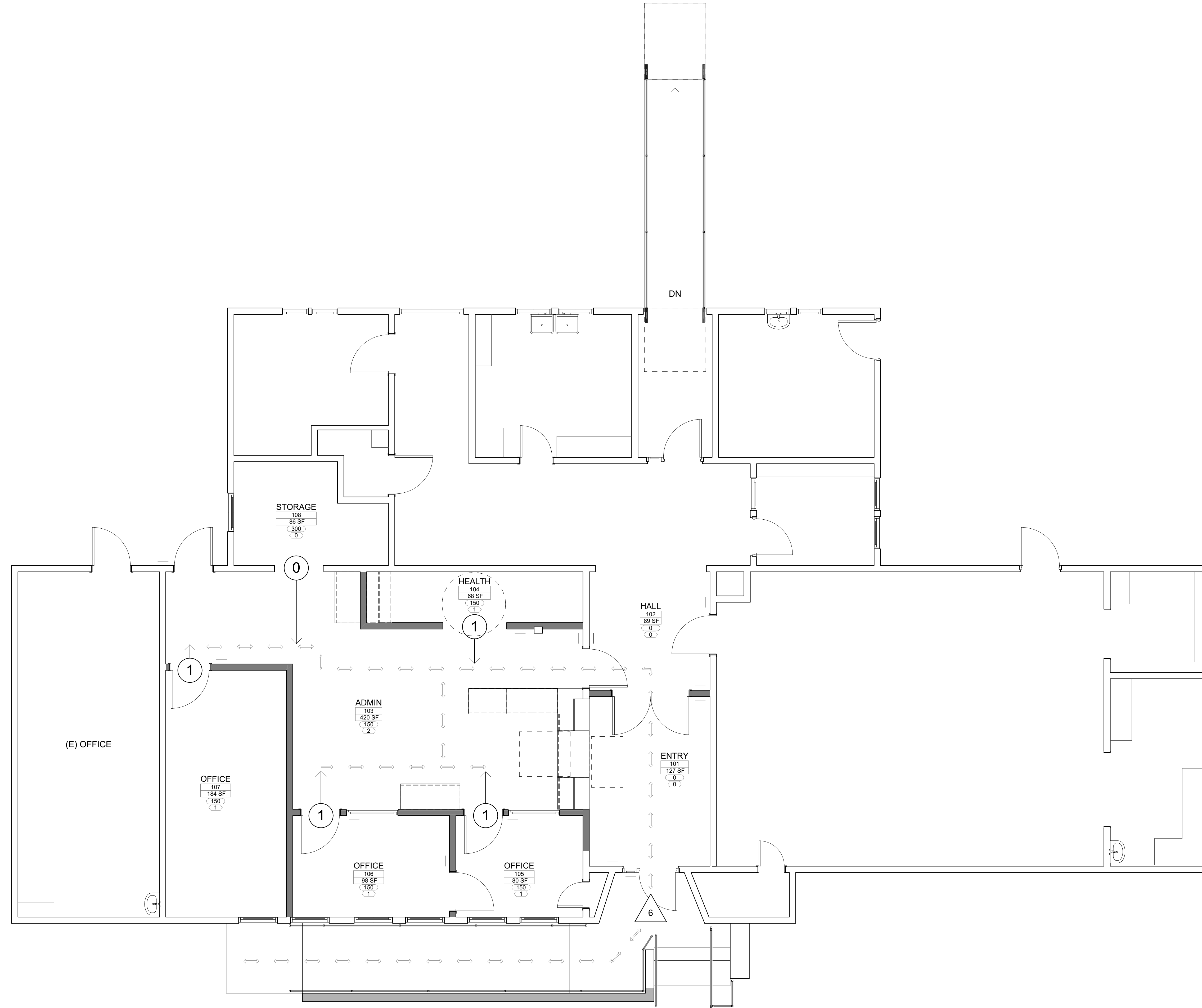
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REVISIONS		
MARK	DATE	DESCRIPTION

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PLOT DATE:  
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ABBREVIATIONS AND  
TYPICAL SYMBOLS

T-003



1 EXIT PLAN  
SCALE: 1/4" = 1'-0"

## KEYNOTES

EXIT ANALYSIS				
Zone Number	Zone Name	Measured Net Area	Occupant Load Factor	Occupants
101	ENTRY	126.83	0	0
102	HALL	88.51	0	0
103	ADMIN	420.34	150	2
104	HEALTH	68.09	150	1
105	OFFICE	79.79	150	1
106	OFFICE	98.41	150	1
107	OFFICE	184.46	150	1
108	STORAGE	86.20	300	0
				6

2 EXIT ANALYSIS  
SCALE: 1" = 1'-0"

\* OCCUPANT LOADING PER 2022 CBC TABLE 1004.5

## CODE ANALYSIS

BUILDING 'A'

BUILDING TYPE: ADMINISTRATION / CLASSROOM  
 OCCUPANCY GROUP: B / E  
 NONSEPARATED OCCUPANCIES CBC (B OCCUP. GROUP MOST RESTRICTIVE)

506.2 CONSTRUCTION TYPE: V-4B  
 STORIES: 1  
 FIRE SPRINKLERS: NO  
 ALLOWABLE AREA: NONSEPARATED OCCUPANCIES PER CBC 508.3.2 BASED ON B OCCUP. GROUP

PER TABLE 506.2  
 B OCCUPANCY, NS = 9,000 SF

ACTUAL AREA:  
 ADMINISTRATION: 1,516 SF  
 B OCCUPANCY  
 CLASSROOM: 2,030 SF  
 E OCCUPANCY

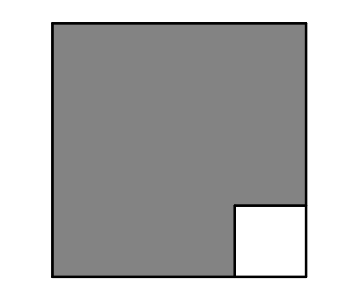
TOTAL: 3,546 SF

3,546 SF < 9,000 SF - OK

## EXITING LEGEND

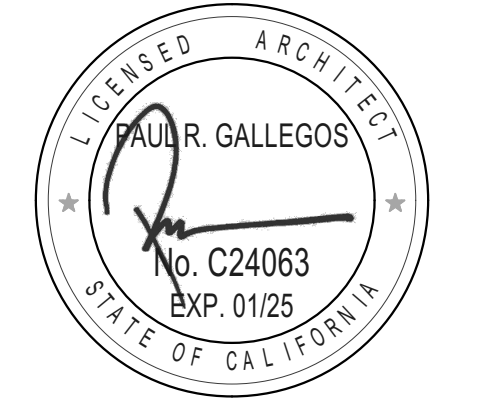
- PATH OF EGRESS
- ① CUMMULATIVE OCCUPANT LOAD AT DOOR
- ① SINGLE ROOM OCCUPANT LOAD AT DOOR
- SF SQUARE FOOTAGE OF ROOM
- OLF OCCUPANT LOAD FACTOR OF ROOM (2022 CBC TABLE 1004.1.2)
- OL OCCUPANT LOAD OF ROOM

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REVISIONS		
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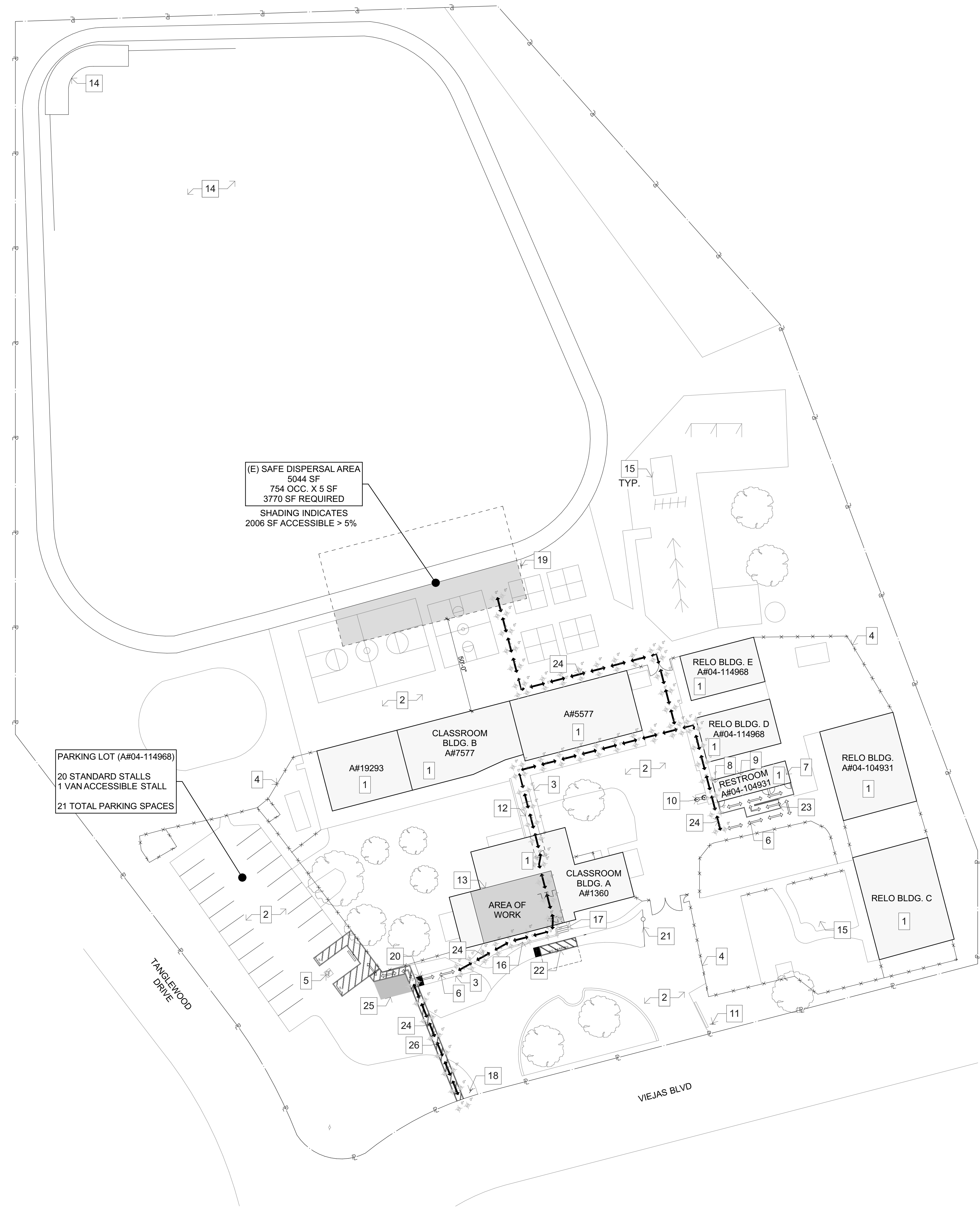
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PLOT DATE:  
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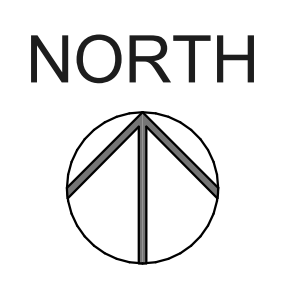
SHEET TITLE

CODE ANALYSIS

T-004



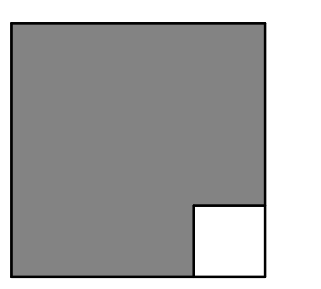
**1 OVERALL SITE PLAN**  
SCALE: 1" = 30'



**KEYNOTES**

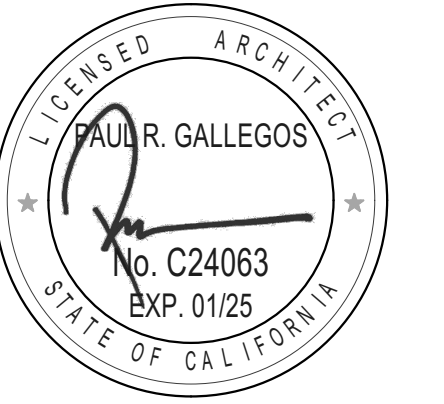
- EXISTING BUILDING TO REMAIN - NO WORK.
- EXISTING ASPHALT PAVING.
- EXISTING CONCRETE WALKWAY.
- EXISTING CHAINLINK FENCING.
- EXISTING VAN ACCESSIBLE PARKING PER A#04-114968. SEE ENLARGED PARKING PLAN SHEET A-102.
- EXISTING PATH OF TRAVEL PER DSA APPROVED A#04-104931.
- EXISTING ACCESSIBLE STAFF UNISEX RESTROOMS PER A#04-114968. SEE SHEET A-204 FOR ENLARGED RESTROOM PLANS.
- EXISTING ACCESSIBLE BOY'S RESTROOM PER A#04-114968.
- EXISTING ACCESSIBLE GIRL'S RESTROOM PER A#04-114968.
- EXISTING ACCESSIBLE DRINKING FOUNTAIN PER A#04-114968. SEE DETAIL 8/A-103.
- EXISTING ACCESSIBLE TOW AWAY SIGN PER A#04-114968.
- EXISTING ACCESSIBLE PEDESTRIAN RAMP PER A#04-120328.
- AREA OF INTERIOR REMODEL.
- EXISTING BASEBALL FIELD & BACKSTOP. NO KNOWN A#.
- EXISTING PLAY EQUIPMENT. NO KNOWN A#.
- EXISTING RAMP AND WALL TO BE REMOVED AND RECONSTRUCTED. REFER TO DEMOLITION AND NEW WORK FLOOR PLANS.
- EXISTING STAIRS PER A#1360. REFER TO NEW WORK FLOOR PLAN FOR MODIFICATIONS.
- EXISTING TOW AWAY SIGN PER DETAIL 6/A-103.
- NEW SAFE DISPERSAL SIGN PER DETAIL 7/A-103.
- NEW TRUNCATED DOMES PER DETAIL 4/A-103.
- EXISTING HANDRAIL TO REMAIN.
- NEW ACCESSIBLE DROP OFF ZONE PER 10/A-103.
- EXISTING RAMP TO REMAIN PER DSA APPROVED A#04-104931.
- PROPOSED PATH OF TRAVEL. SEE SITE ACCESSIBILITY NOTES.
- SHADED AREA INDICATES EXISTING STRIPING TO BE BLACKED OUT.
- NEW ACCESSIBLE CROSSWALK TO PUBLIC RIGHT OF WAY. 4" WIDE WHITE PAINTED STRIPING BORDER WITH 4" WHITE DIAGONAL STRIPING AT 36" O.C.

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**SITE ACCESSIBILITY NOTES**

- DASHED LINE INDICATES ACCESSIBLE PATH OF TRAVEL IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVELED AT 1:2 MAX SLOPE OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX AND AT LEAST 48" IN WIDTH. SURFACE IS STABLE, FIRM, AND SLIP RESISTANT. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM THE WALL AND ABOVE 27" AND LESS THAN 80" PER CBC 11B-202.4. ARCHITECT SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.  
SEE: (E) PER DSA APPROVED A#04-104931  
(N) PER CBC 11B-202.4. ARCHITECT SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.
- DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT:  
THE POT IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS, AND STRUCTURAL REPAIRS. AS PART OF THE DESIGN OF THIS PROJECT, THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT: 1) HAVE BEEN IDENTIFIED AND, 2) THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT'S WORK THROUGH DETAILS, DRAWINGS AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NON-COMPLIANT ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARDSHIP ARE SO INDICATED IN THESE CONSTRUCTION DOCUMENTS. DURING CONSTRUCTION, IF POT ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NONCOMFORMING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS A PART OF THIS PROJECT BY MEANS OF A CONSTRUCTION CHANGE DOCUMENT.  
FOR ALL GRATINGS LOCATED IN THE SURFACE OF ANY PEDESTRIAN WAY IN THE PATH OF TRAVEL, THE GRID/OPENINGS IN THE GRATINGS SHALL BE LIMITED TO 1/2" MAXIMUM IN THE DOMINANT DIRECTION OF TRAFFIC FLOW.  
GATES AT THE PATH OF TRAVEL SHALL COMPLY WITH EXIT DOOR REQUIREMENTS.  
MANUAL CANE BOLTS, MANUALLY LOCKING HARDWARE, CHAINS, ETC. ARE NOT ALLOWED ON GATES WITH PANIC HARDWARE.

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MARK	DATE	DESCRIPTION

PROJECT NO: 23-027  
MODEL FILE:  
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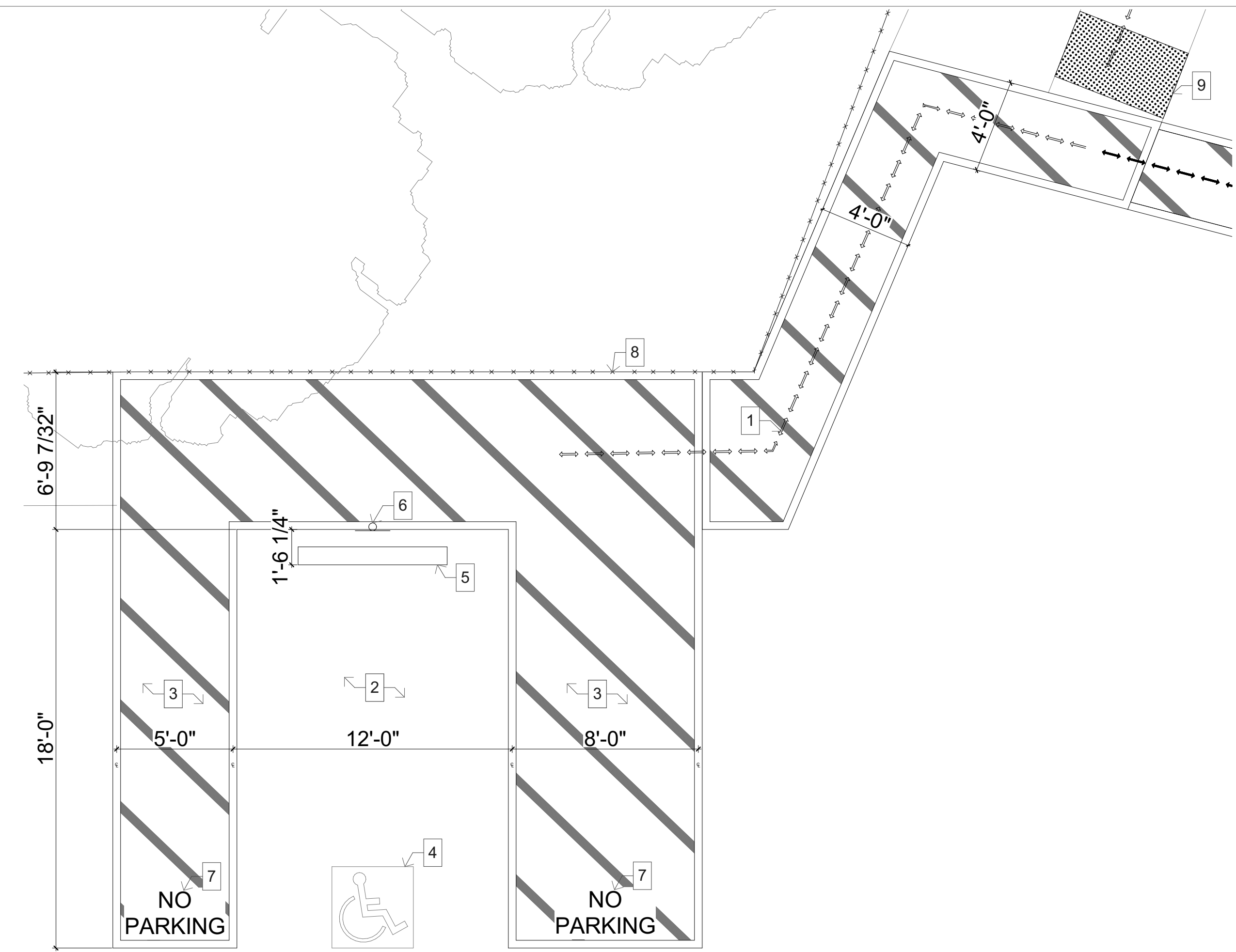
PLOT DATE:  
10/24/2023

SHEET TITLE

OVERALL SITE PLAN

**A-101**

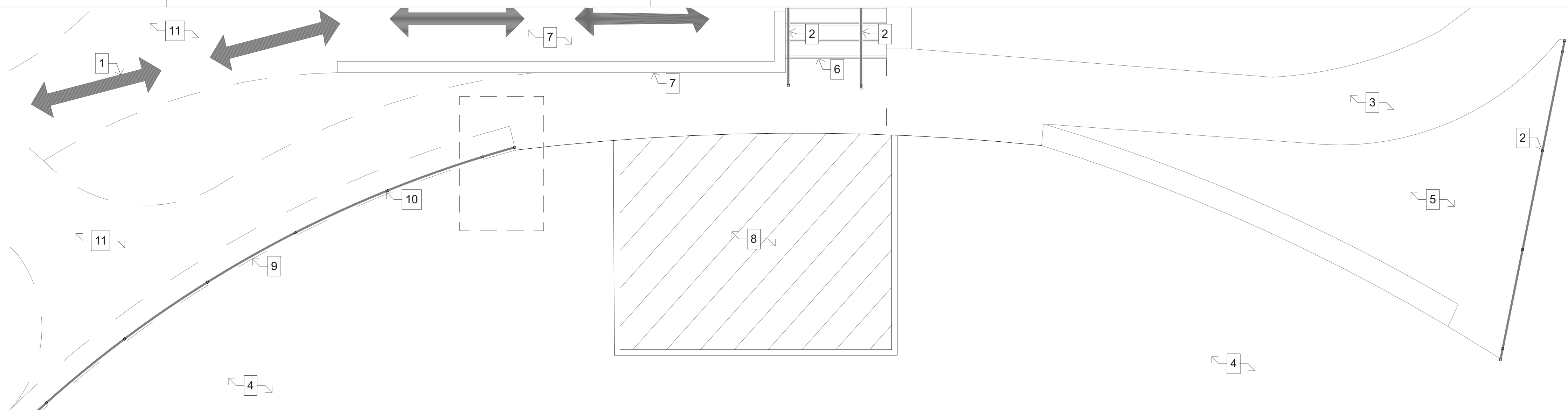




**2 ENLARGED PARKING PLAN**  
SCALE: 1/4" = 1'-0"

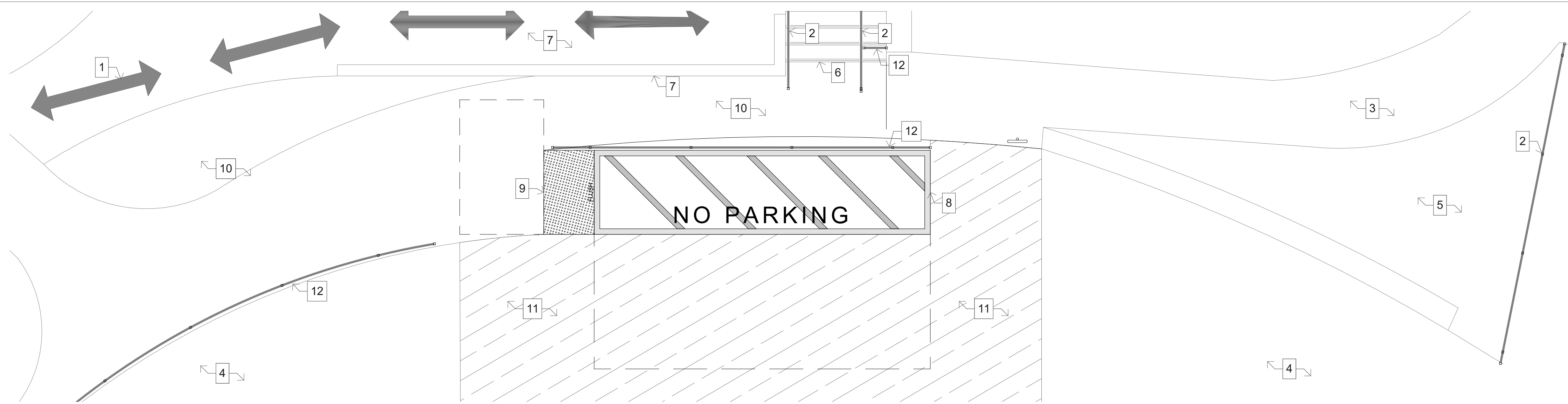
1. EXISTING PATH OF TRAVEL.
2. EXISTING ACCESSIBLE PARKING STALL PER DSA APPROVED A#04-114968.
3. EXISTING ACCESS AISLE PER DSA APPROVED A#04-114968.
4. EXISTING ISA PAVEMENT MARKING PER DSA APPROVED A#04-114968. SEE DETAIL 2/A-103.
5. EXISTING WHEELSTOP PER DSA APPROVED A#04-114968. SEE DETAIL 5/A-103.
6. EXISTING VAN ACCESSIBLE STALL SIGNAGE PER DSA APPROVED A#04-114968. SEE DETAIL 1/A-103.
7. EXISTING 12" HIGH PAINTED WHITE "NO PARKING".
8. EXISTING CHAIN LINK FENCING.
9. NEW TRUNCATED DOMES PER DETAIL 4/A-103.

1. PATH OF TRAVEL.
2. EXISTING HANDRAIL TO REMAIN.
3. EXISTING CONCRETE PAVING TO REMAIN.
4. EXISTING ASPHALT PAVING TO REMAIN.
5. EXISTING LANDSCAPING TO REMAIN.
6. EXISTING STAIRS TO REMAIN.
7. EXISTING MASONRY WALL AND RAMP TO BE REMOVED PER 1/A-203.
8. EXISTING DROP OFF ZONE TO BE REMOVED.
9. EXISTING STONE CURB TO BE REMOVED.
10. EXISTING HANDRAIL TO BE REMOVED.
11. EXISTING CONCRETE PAVING TO BE REMOVED.



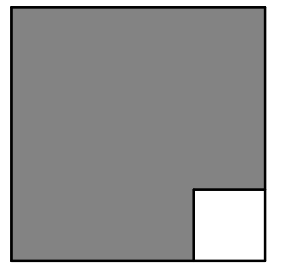
**3 EXISTING DROP OFF**  
SCALE: 1/4" = 1'-0"

1. PATH OF TRAVEL.
2. EXISTING HANDRAIL TO REMAIN.
3. EXISTING CONCRETE PAVING TO REMAIN.
4. EXISTING ASPHALT PAVING TO REMAIN.
5. EXISTING LANDSCAPING TO REMAIN.
6. EXISTING STAIRS TO REMAIN.
7. NEW RAMP PER 1/A-203.
8. NEW ACCESSIBLE DROP OFF ZONE PER 10/A-103.
9. NEW TRUNCATED DOMES PER 4/A-103.
10. NEW 3-1/2" THICK CONCRETE PAVING PER DETAIL.
11. AREA OF NEW ASPHALT PAVING OVERLAY AS REQ'D TO CREATE SURFACE SLOPES AT PASSENGER DROP OFF PER DETAIL 10/A-103. FEATHER INTO EXISTING ASPHALT TO CREATE FLUSH TRANSITION.
12. NEW SAFETY RAIL PER DETAIL 11/A-103 AT WALK EDGE OF VEHICULAR WAY AT PATH OF TRAVEL.



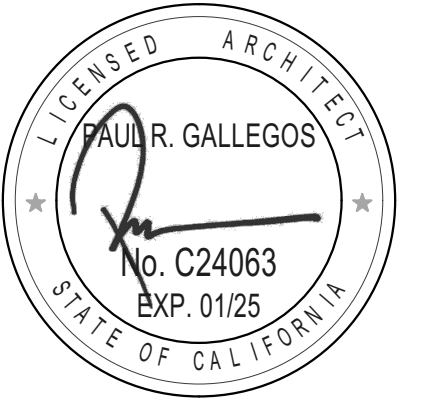
**4 NEW ACCESSIBLE DROP OFF ZONE**  
SCALE: 1/4" = 1'-0"

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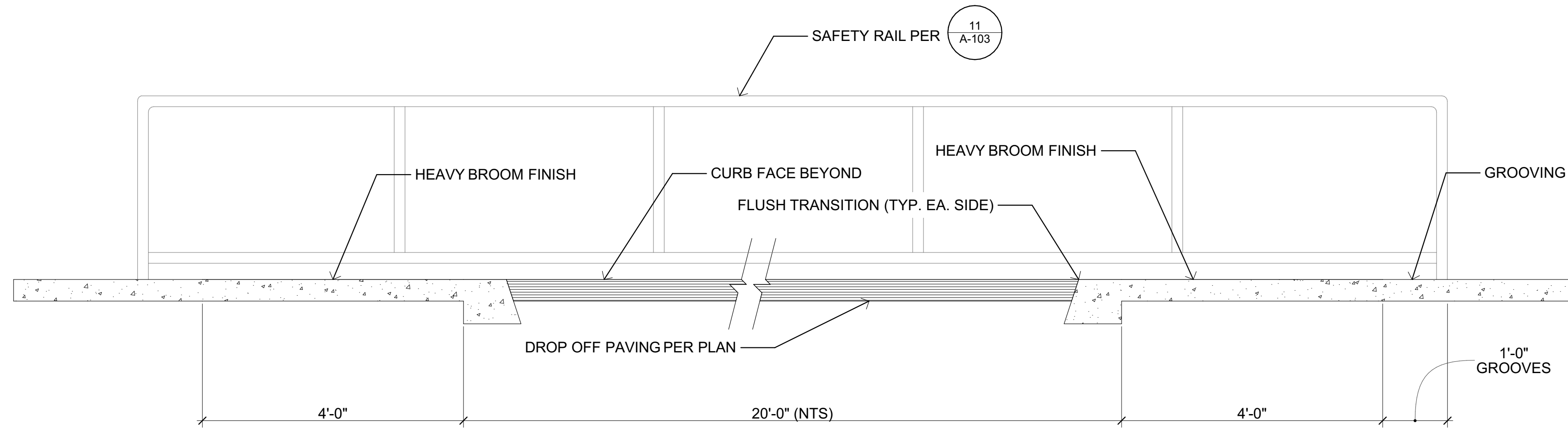
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MARK	DATE	DESCRIPTION

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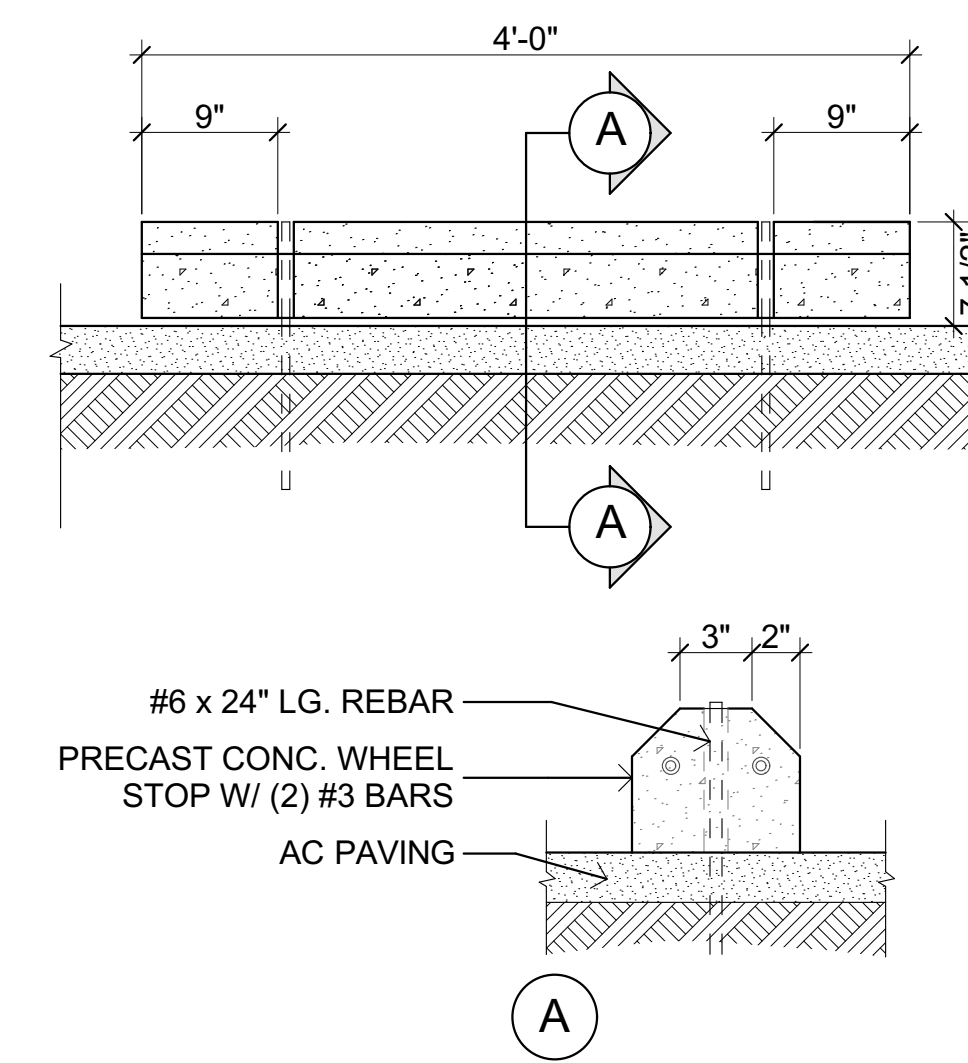
PLOT DATE:  
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SHEET TITLE

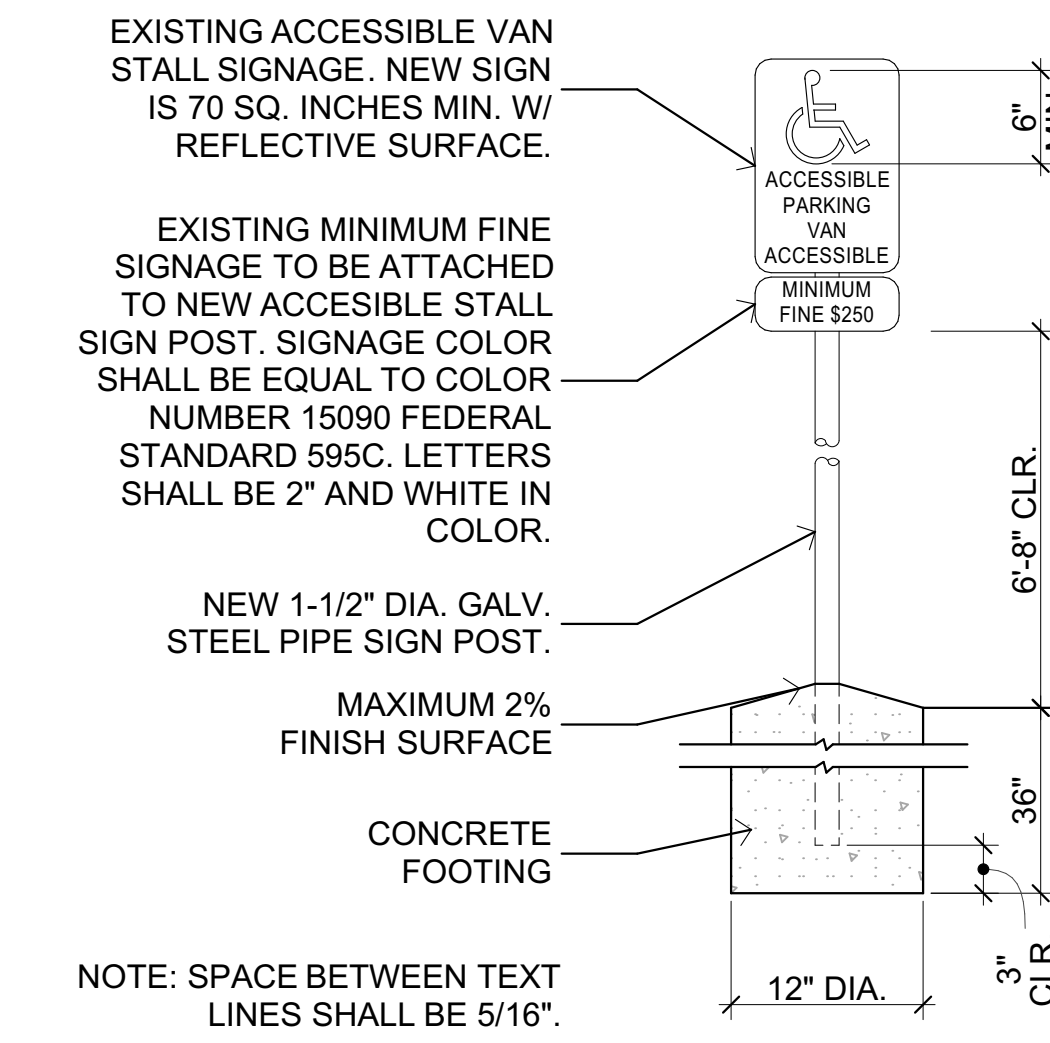
ENLARGED SITE PLANS



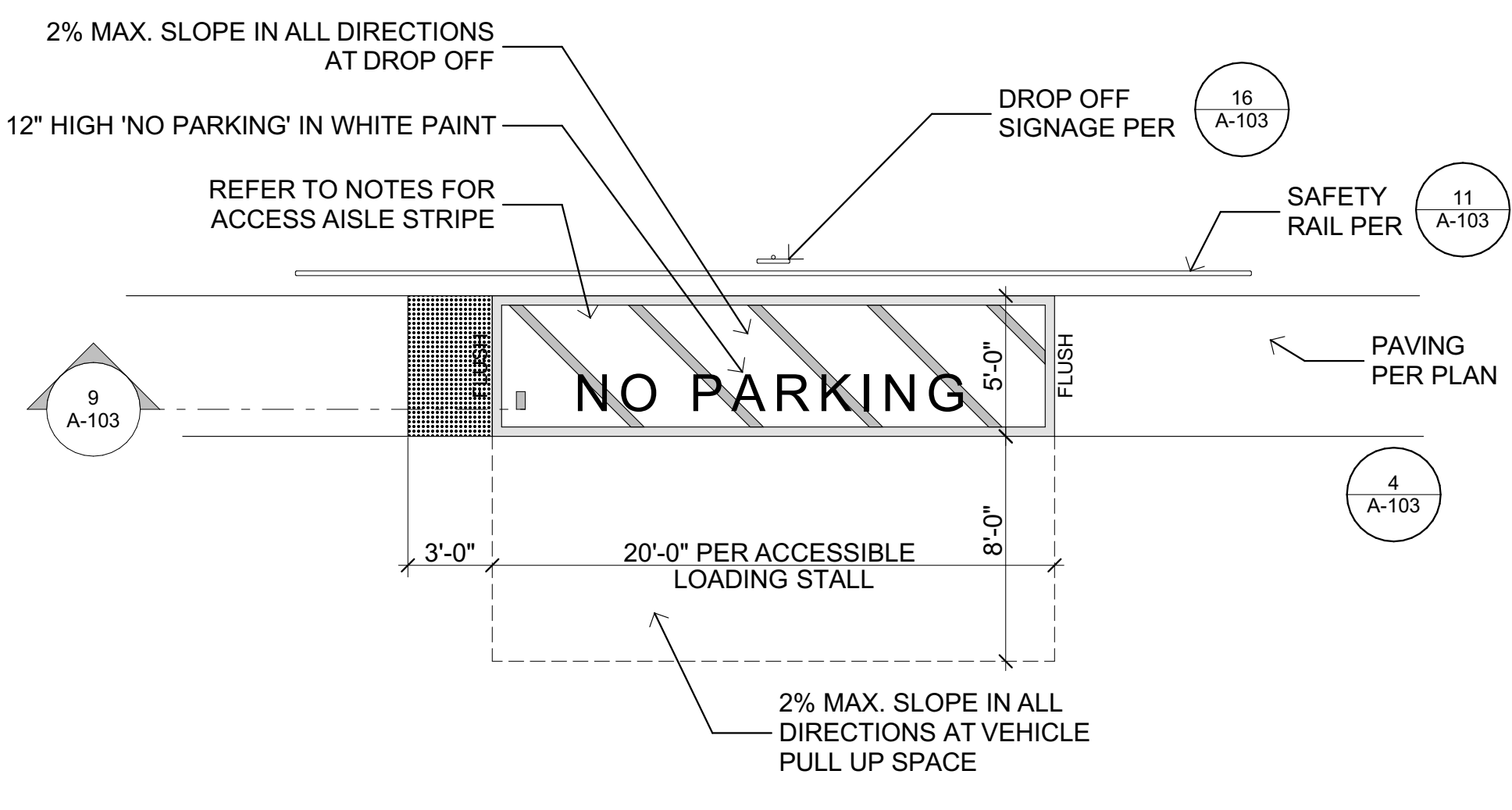
9 ACCESSIBLE DROP OFF SECTION  
SCALE: 3/4" = 1'-0"



5 (E) WHEELSTOP  
SCALE: 1" = 1'-0"

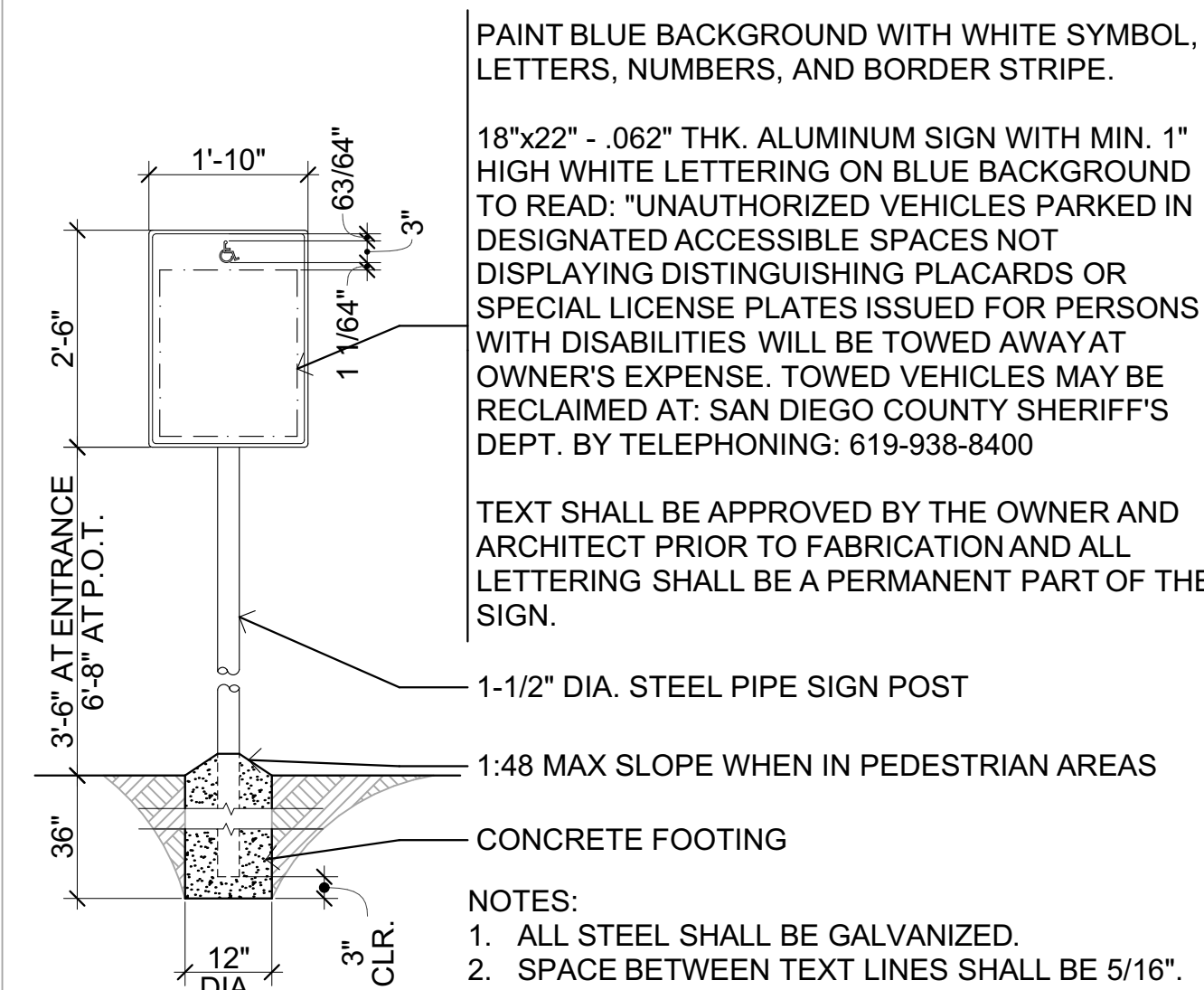


1 (E) ACS VAN STALL SIGN  
SCALE: 1" = 1'-0"

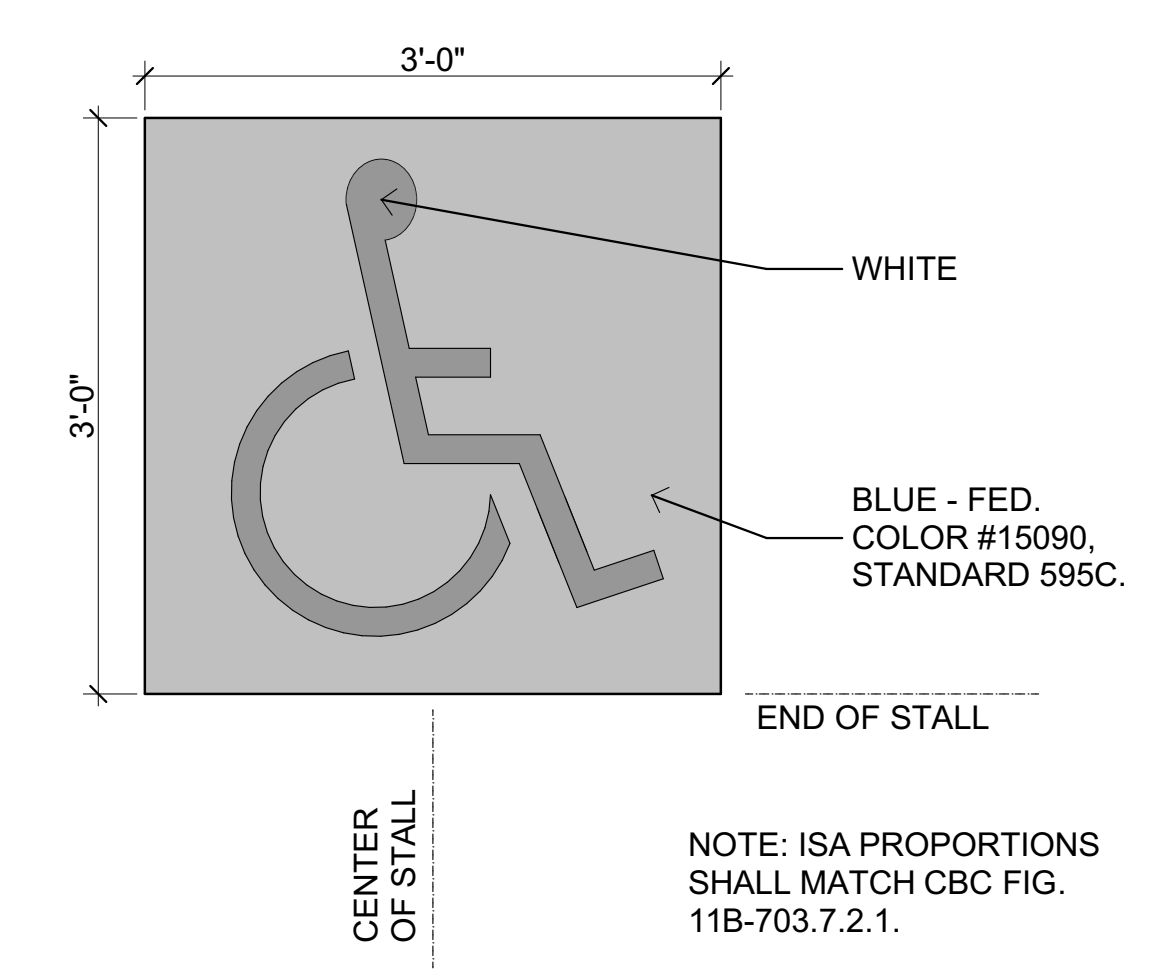


- GENERAL DROP OFF NOTES**
1. VEHICLE PULL-UP SPACES SHALL BE 8'-0" X 20'-0" MINIMUM.
  2. ACCESS AISLES SHALL HAVE 5'-0" WIDE MINIMUM BY FULL LENGTH OF VEHICLE PULL UP SPACES. THEY SHALL BE AT THE SAME LEVEL WITH EACH OTHER AND WITH SLOPES NOT STEEPER THAN 1:48 IN ANY DIRECTION. ACCESS AISLE SHALL ADJOIN AN ACCESSIBLE ROUTE AND SHALL NOT OVERLAP THE VEHICULAR WAY.
  3. ACCESS AISLES FOR PASSENGER DROP-OSS AND LOADING ZONE SHALL BE MARKED WITH A PAINTED BORDERLINE AROUND THE PERIMETER. THE AREA WITHIN THE BORDERLINES SHALL BE MARKED WITH HATCHED LINES A MAX. OF 36" ON CENTER IN A COLOR CONTRASTING WITH THAT OF THE AISLE SURFACE. BLUE INTERIOR HATCH LINES SHALL BE PROVIDED FOR CONCRETE SURFACES AND WHITE INTERIOR HATCH LINES SHALL BE PROVIDED FOR ASPHALT SURFACES. WHERE WHITE LINES ARE USED, HATCH SHALL BE INTERRUPTED AT 12" HIGH 'NO PARKING' TEXT FOR LEGIBILITY.
  4. A VERTICAL CLEARANCE OF 9'-0" MIN. SHALL BE PROVIDED FOR VEHICLE PULL-UP SPACES, ACCESS AISLES SERVING THEM, AND A VEHICULAR ROUTE CONNECTING A VEHICULAR ENTRANCE AND A VEHICULAR EXIT.

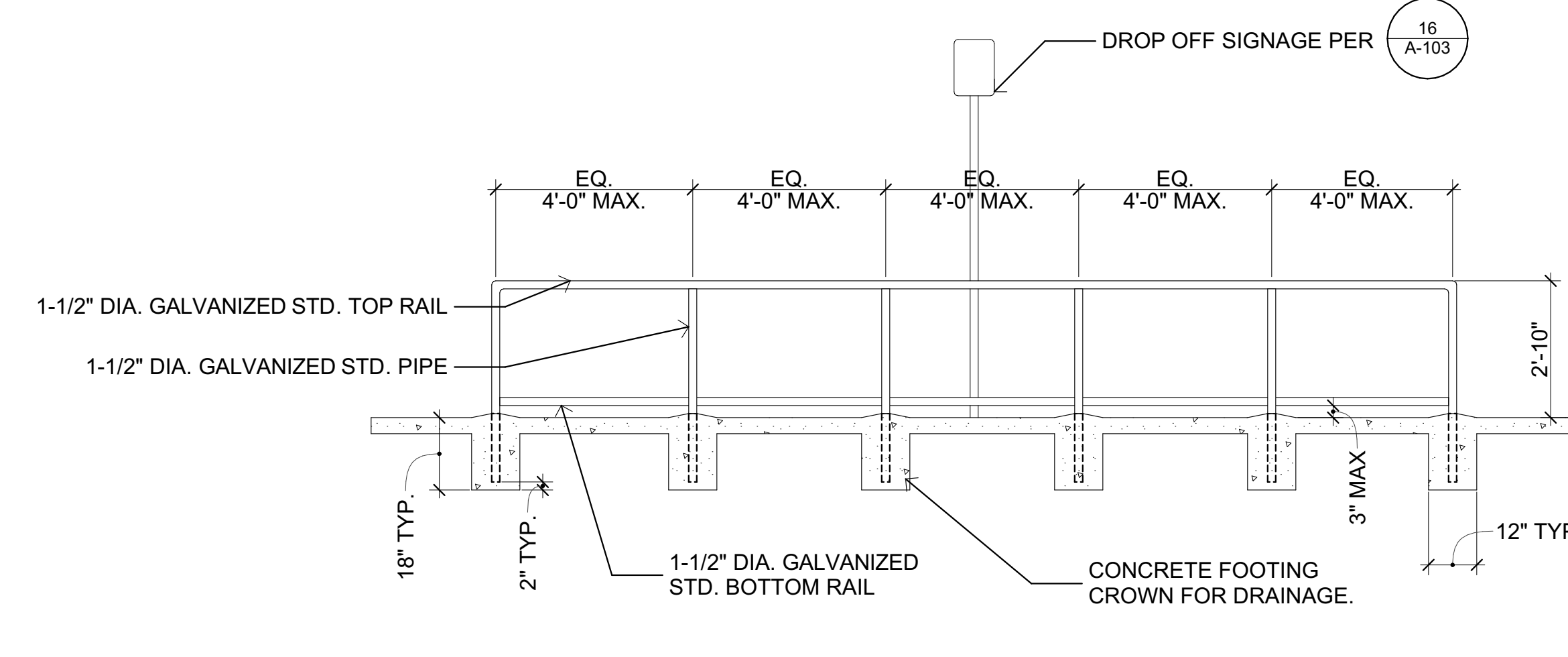
10 ACCESSIBLE DROP OFF  
SCALE: 3/16" = 1'-0"



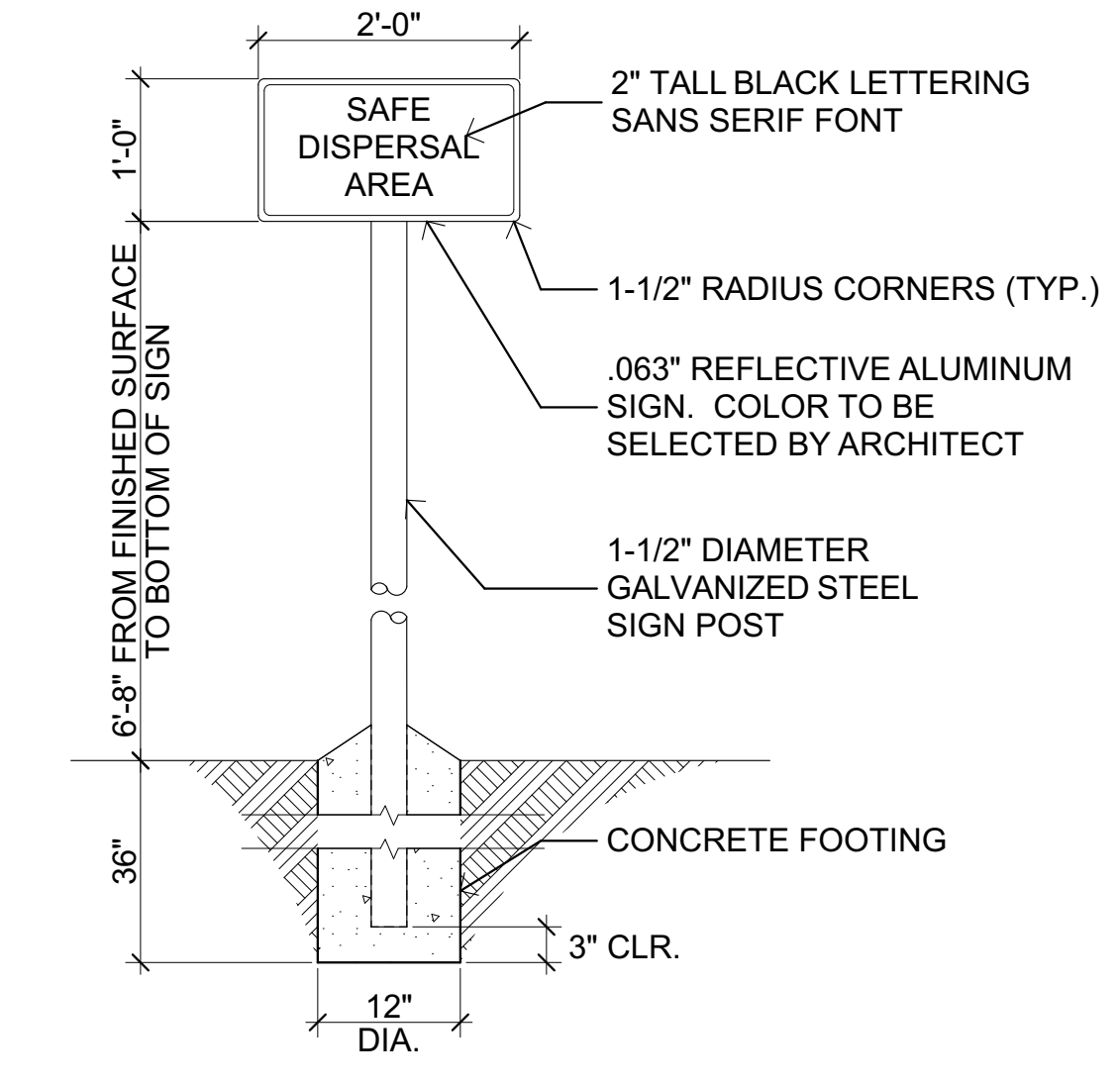
6 ACS TOW AWAY SIGN  
SCALE: 1/2" = 1'-0"



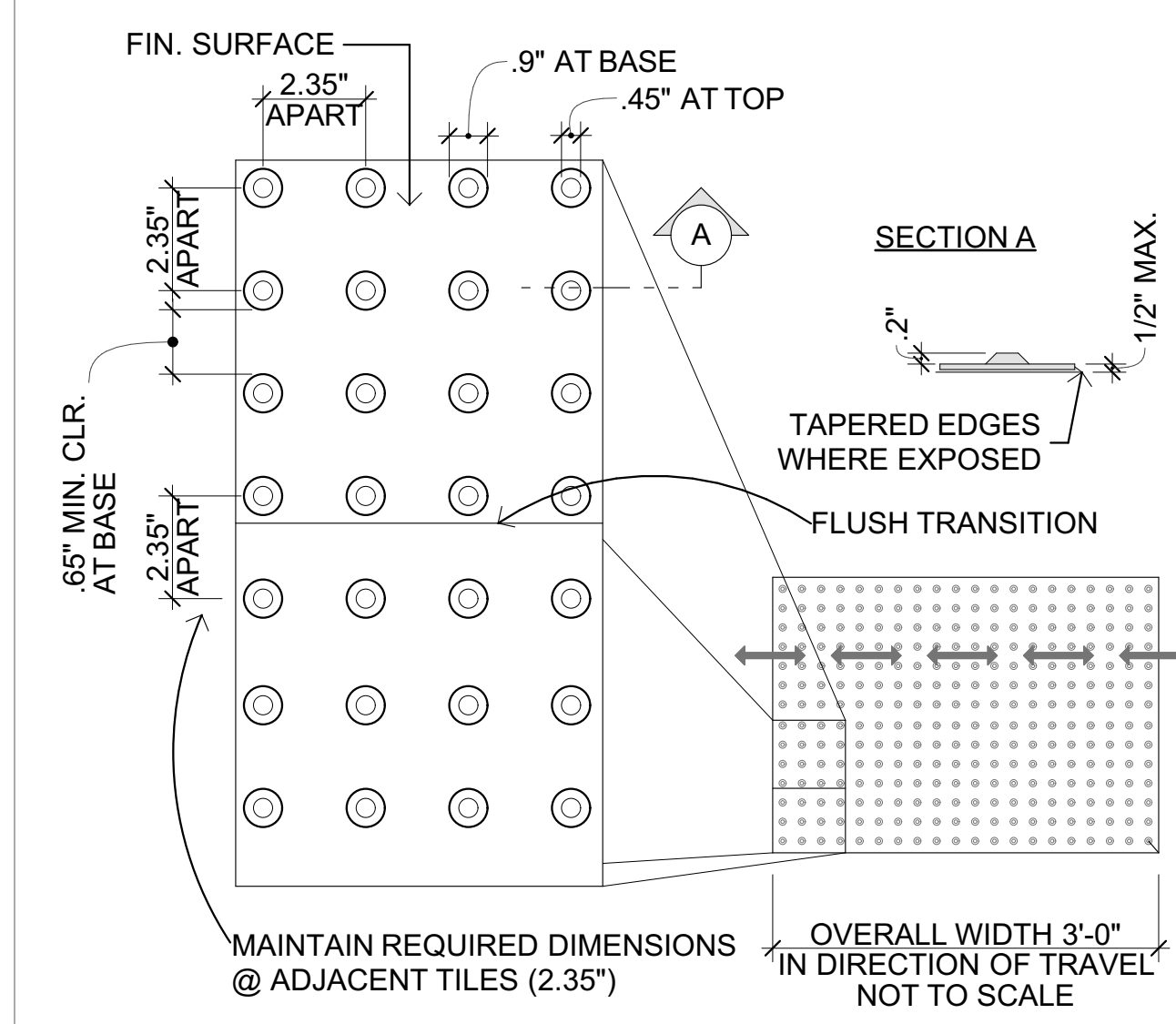
2 (E) ACS PAVEMENT MARKING  
SCALE: 1" = 1'-0"



11 SAFETY RAIL AT DROP OFF  
SCALE: 3/8" = 1'-0"



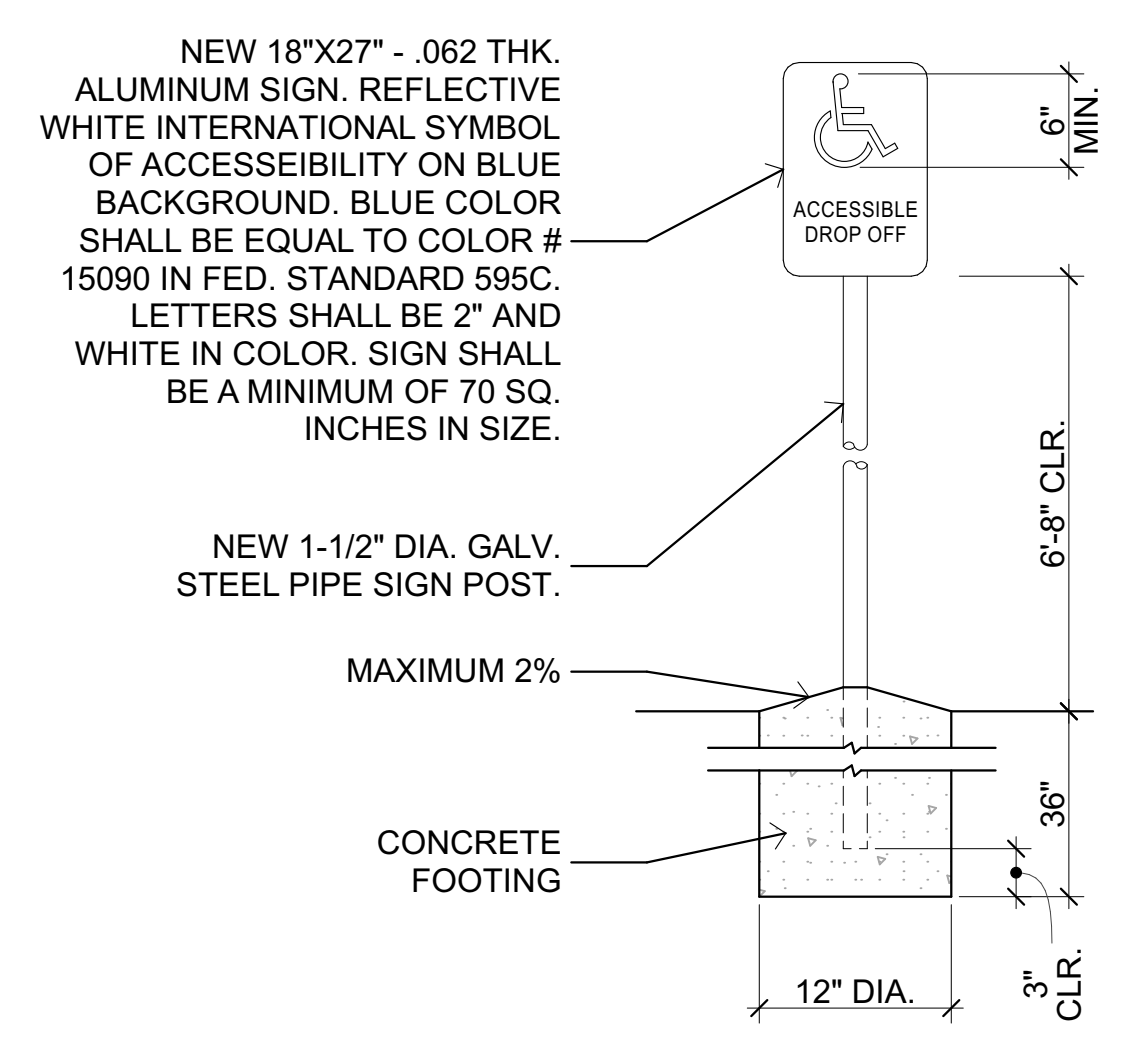
7 SAFE DISPERSAL AREA SIGNAGE  
SCALE: 3/4" = 1'-0"



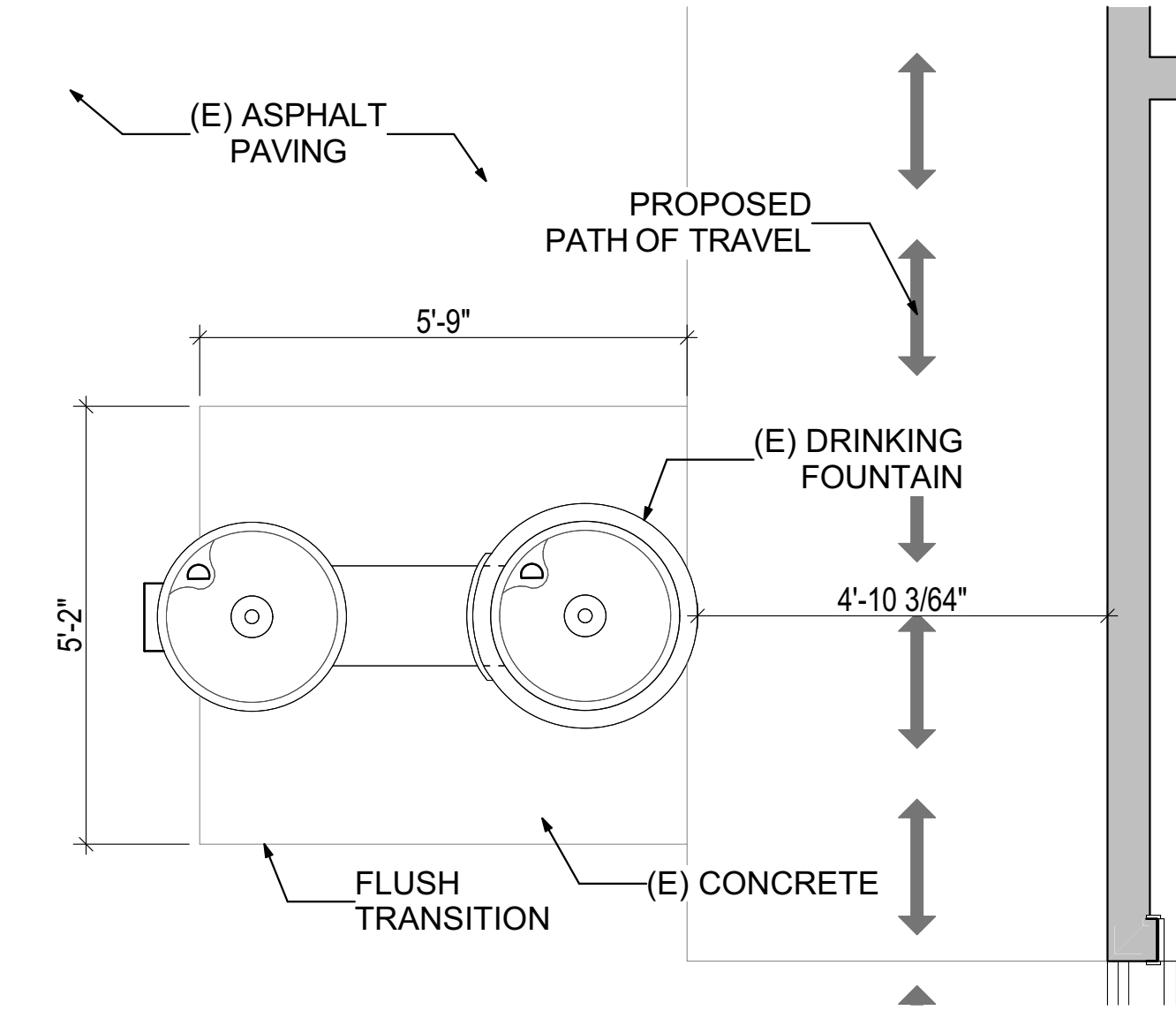
- NOTE:**
- 1) TRUNCATED DOMES DETECTABLE WARNING STRIP TO BE MANUFACTURED BY SAFETY STEP TD - SAFETY STEP TD, TRADITIONAL SSTD-MAT SYSTEM OR EQUAL.
  - 2) COLOR TO BE YELLOW, FEDERAL COLOR NO. 33538 STANDARD NO. 595-C.
  - 3) DETECTABLE WARNING SURFACES SHALL COMPLY WITH CBC SECTION 11B-705.1.

DSA WILL PROVISIONALLY ACCEPT A WRITTEN FIVE (5) YEAR PRODUCT WARRANTY PROVIDED BY THE MANUFACTURER OF DETECTABLE WARNING AND DIRECTIONAL SURFACE PRODUCTS AS EQUIVALENT TO THE EVALUATION AND PRODUCT APPROVAL PROGRAM. SUCH WARRANTY SHALL INDICATE COMPLIANCE WITH ARCHITECTURAL STANDARDS AS PUBLISHED IN THE CURRENT EDITION OF THE CALIFORNIA BUILDING STANDARDS CODE, AND ALSO INCLUDE DURABILITY CRITERIA WHICH INDICATES THAT THE SHAPE, COLOR, FASTNESS, CONFIRMATION, SOUND-ON-CANE ACOUSTIC QUALITY, RESILIENCE AND ATTACHMENT WILL NOT DEGRADE SIGNIFICANTLY FOR AT LEAST FIVE (5) YEARS AFTER INITIAL INSTALLATION. AS USED IN THIS BULLETIN, "DEGRADE SIGNIFICANTLY" MEANS THAT THE PRODUCT MAINTAINS AT LEAST 90 PERCENT OF ITS APPROVED DESIGN CHARACTERISTICS, AS DETERMINED BY THE ENFORCING AGENCY.

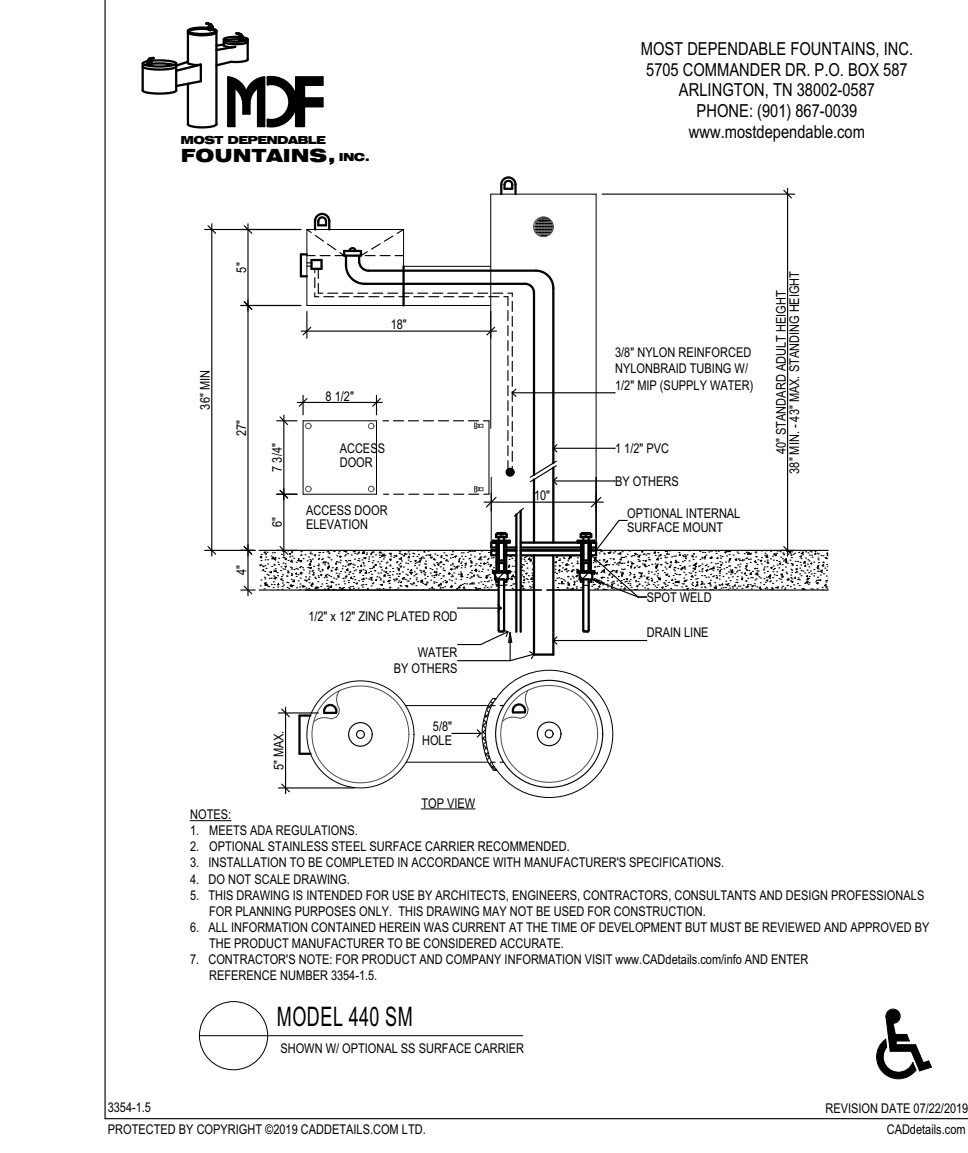
4 TRUNCATED DOMES  
SCALE: 3" = 1'-0"



16 DROP OFF SIGNAGE  
SCALE: 1" = 1'-0"



12 DRINKING FOUNTAIN PLAN  
SCALE: 1/2" = 1'-0"



8 (E) DRINKING FOUNTAIN  
SCALE: 1/4" = 1'-0"

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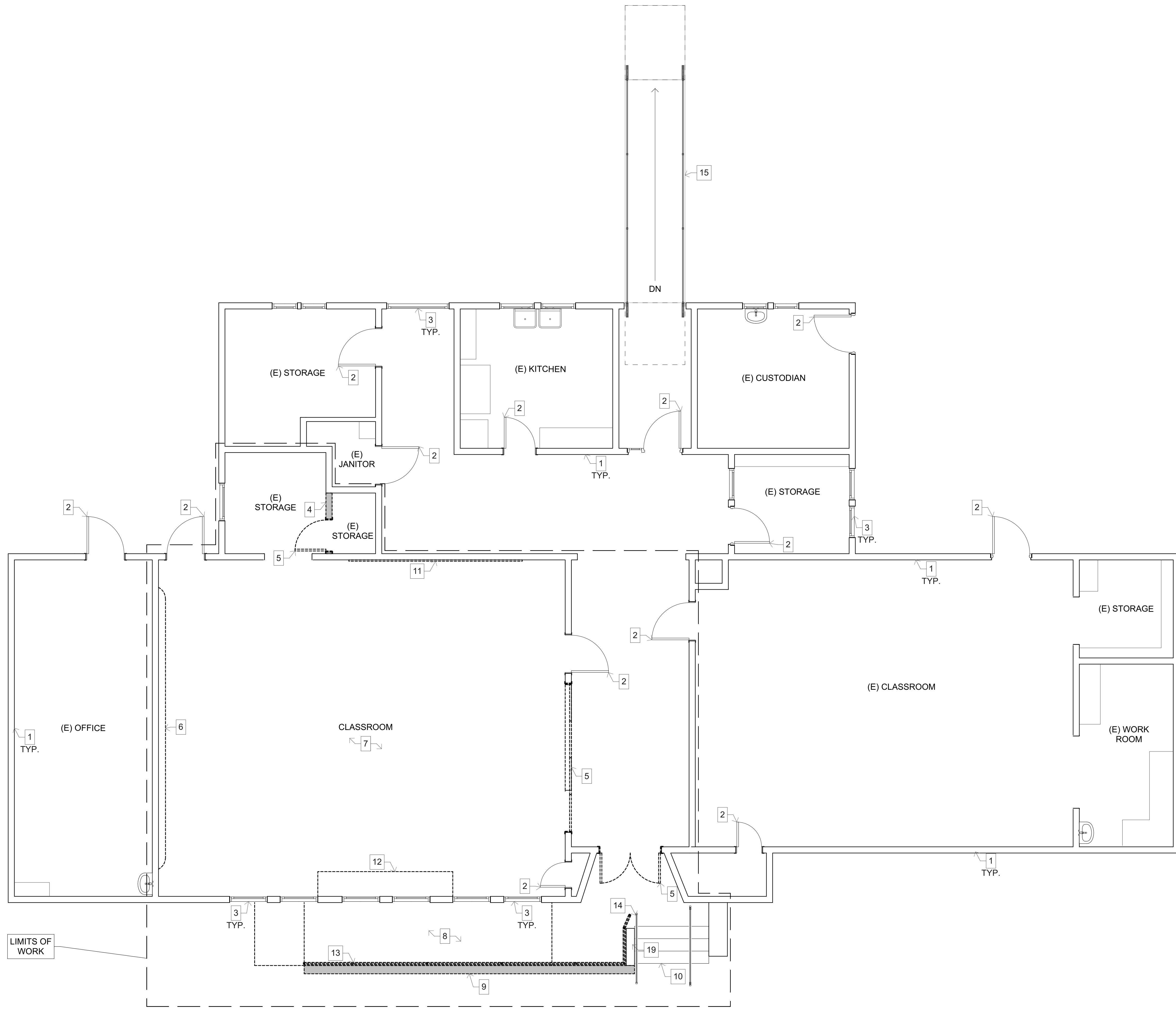
**REVISIONS**

MARK	DATE	DESCRIPTION

PROJECT NO: 23-027  
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SHEET TITLE

SITE DETAILS

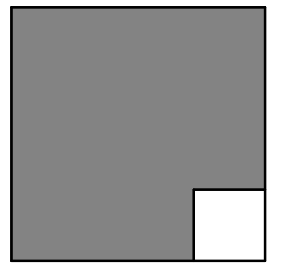




### KEYNOTES

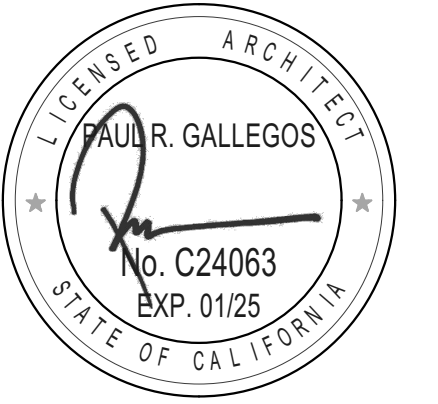
1. EXISTING WALL TO REMAIN.
2. EXISTING DOOR TO REMAIN.
3. EXISTING WINDOW TO REMAIN.
4. EXISTING WALL TO BE DEMOLISHED.
5. EXISTING DOOR & FRAME TO BE DEMOLISHED.
6. EXISTING RAISED STEP TO BE DEMOLISHED.
7. EXISTING CARPET FLOORING AND UNDERLAYMENT TO BE DEMOLISHED.
8. EXISTING CONCRETE RAMP SURFACE PAVING TO BE DEMOLISHED.
9. PORTION OF EXISTING MASONRY WALL TO BE DEMOLISHED.
10. EXISTING STAIRS TO REMAIN.
11. EXISTING MARKERBOARD TO BE DEMOLISHED.
12. EXISTING BASE CABINETS TO BE DEMOLISHED.
13. REMOVE EXISTING HANDRAIL FOR REPLACEMENT.
14. MODIFY PORTION OF HANDRAIL AT TOP OF STAIR PER NEW WORK PLAN.
15. EXISTING RAMP AND HANDRAILS TO REMAIN PER A#04-120328.
16. PORTION OF EXISTING MASONRY WALL TO REMAIN.

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### WALL LEGEND

- EXISTING WALL
- TO BE DEMOLISHED

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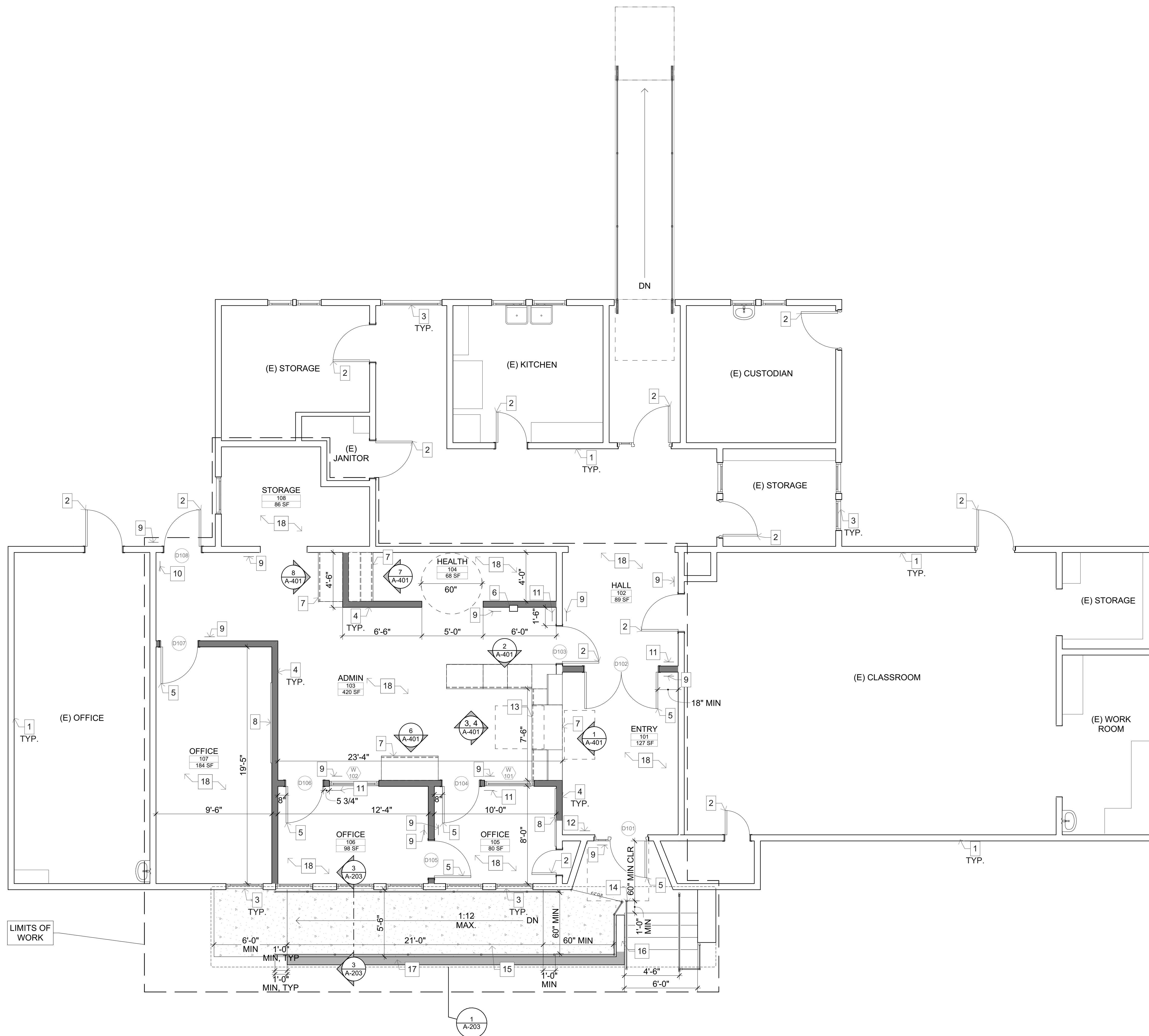
SHEET TITLE

EXISTING / DEMOLITION  
FLOOR PLAN

## 2 EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"

# A-201

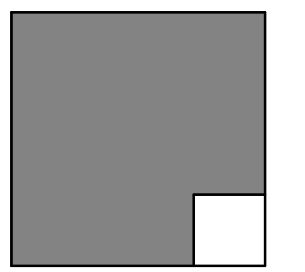


**1 NEW WORK FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**KEYNOTES**

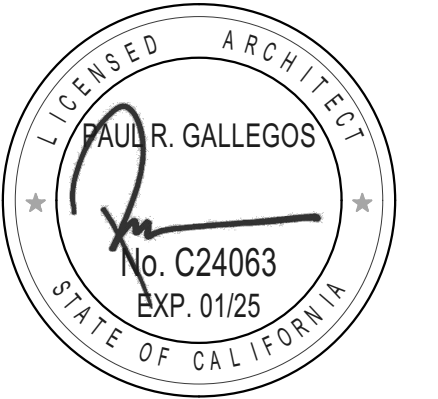
1. EXISTING WALL TO REMAIN.
2. EXISTING DOOR TO REMAIN.
3. EXISTING WINDOW TO REMAIN.
4. NEW INTERIOR PARTITION PER WALL LEGEND.
5. NEW DOOR. REFER TO DOOR SCHEDULE.
6. NEW 2A:10B:C FIRE EXTINGUISHER IN CABINET PER DETAIL 11 / A-205.
7. NEW CASEWORK PER INTERIOR ELEVATIONS.
8. NEW WALL MOUNTED WHITEBOARD. REFER TO DETAIL 4 / A-402.
9. NEW ROOM SIGNAGE PER DETAIL 4 / A-902.
10. NEW EXIT SIGNAGE PER DETAIL 8 / A-902.
11. NEW EXIT ROUTE SIGNAGE PER DETAIL 8 / A-902.
12. NEW EXIT RAMP DOWN SIGNAGE PER DETAIL 8 / A-902.
13. NEW ACCESSIBLE WORKSTATION. REFER TO INTERIOR ELEVATIONS.
14. MODIFY HANDRAIL EXTENSION AT TOP OF STAIR PER DETAIL 11 / A-203.
15. NEW CONCRETE RAMP, HANDRAILS, AND BOTTOM LANDING - REFER TO ENLARGED RAMP PLAN DETAIL 1 / A-203.
16. PORTION OF EXISTING MASONRY WALL TO REMAIN.
17. NEW PORTION OF MASONRY WALL.
18. NEW DISTRICT STANDARD CARPET. REFER TO FINISH SCHEDULE.

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**WALL LEGEND**

- EXISTING WALL
- NEW WALL - NON-BEARING PARTITION:  
2X6 WOOD STUDS AT 16" O.C. FULL  
HEIGHT W/ 1 LAYER 5/8" GYP. BD. EACH  
SIDE. REFER TO DETAILS 6, 12, 14, AND  
15 / A-205.

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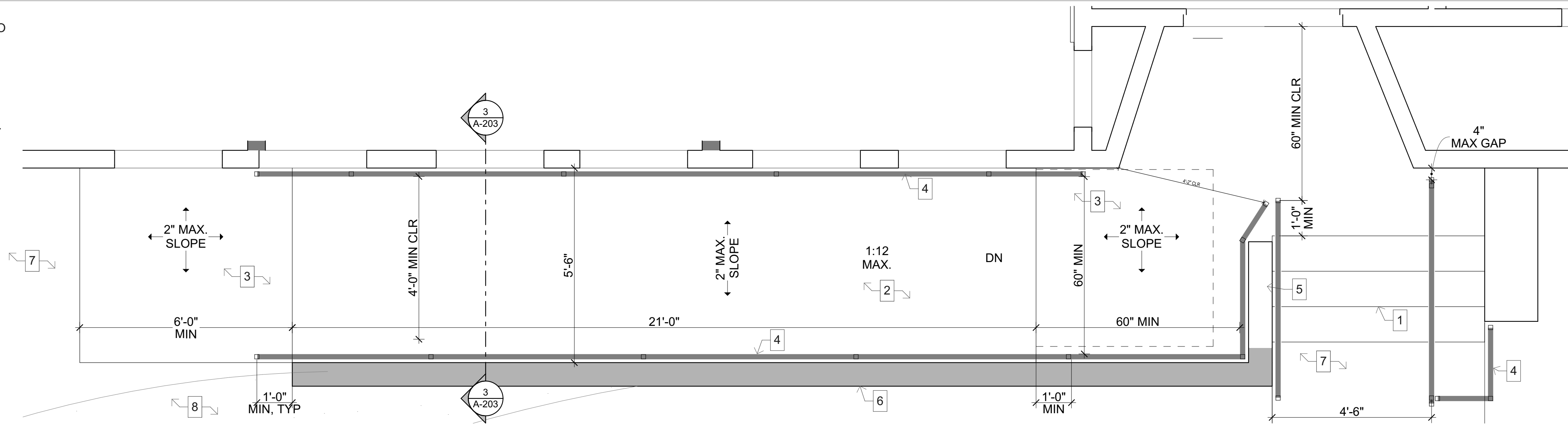
PLOT DATE:  
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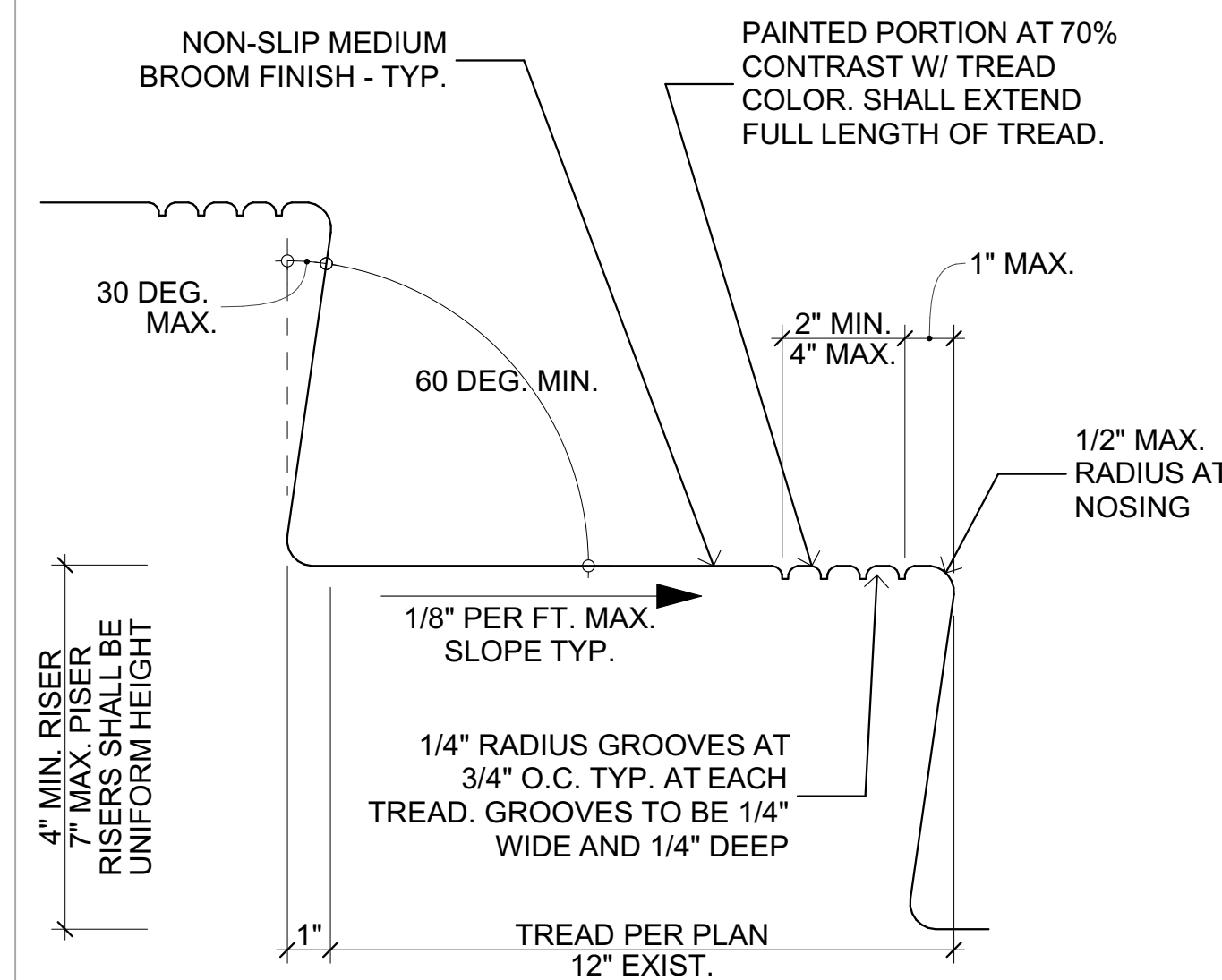
NEW WORK FLOOR  
PLAN

**A-202**

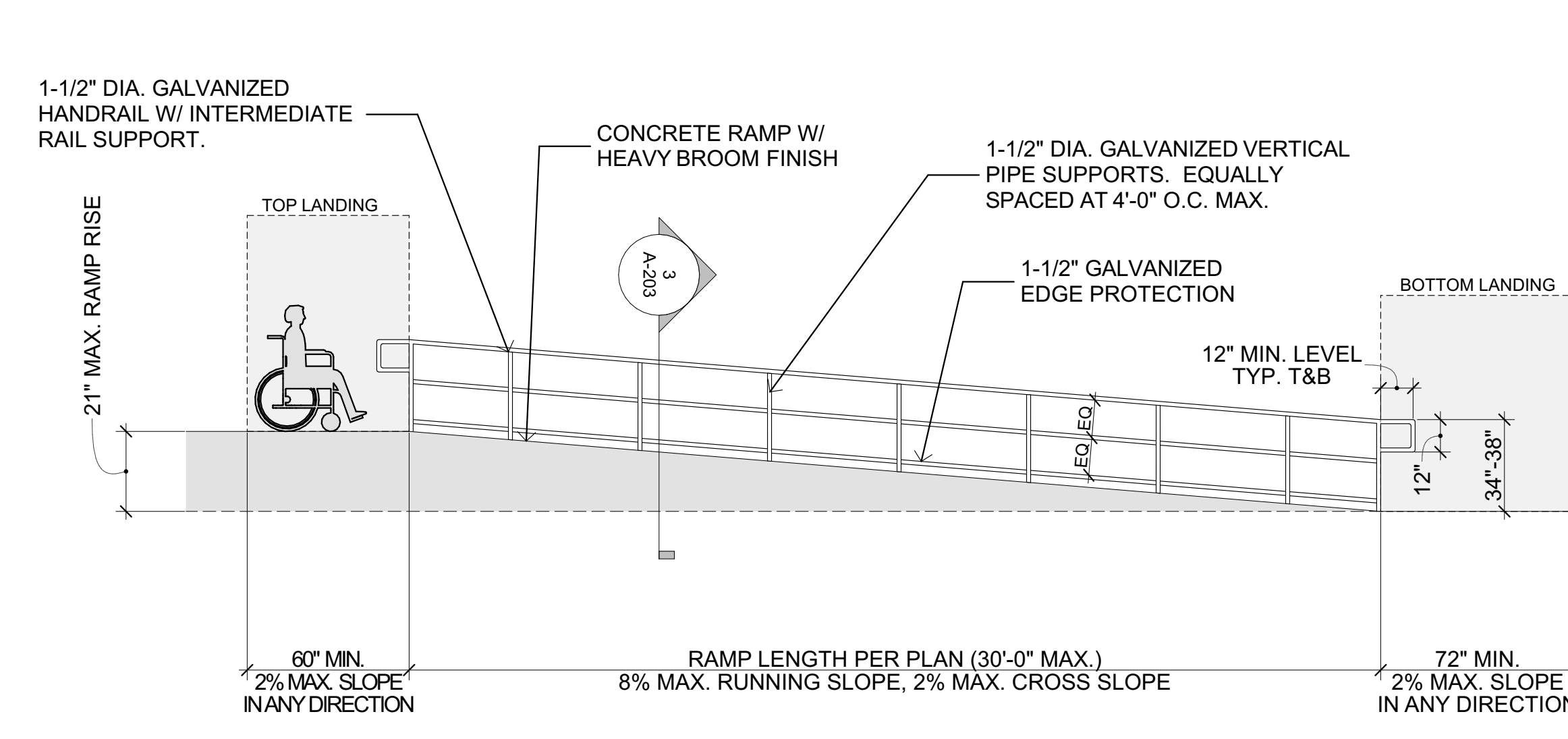
- EXISTING CONCRETE STAIRS TO REMAIN. REFER TO DETAILS 11 & 10 / A-203.
- NEW 4" THICK CONCRETE RAMP SURFACING PER DETAILS 2, 3, AND 4 / A-203.
- NEW 4" THICK CONCRETE LEVEL LANDING.
- NEW GALVANIZED HANDRAIL. REFER TO DETAILS 2 & 11 / A-203.
- PORTION OF EXISTING MASONRY WALL TO REMAIN. PORTION OF EXISTING MASONRY WALL TO BE DEMOLISHED.
- EXISTING CONCRETE TO REMAIN.
- EXISTING LANDSCAPING TO REMAIN.



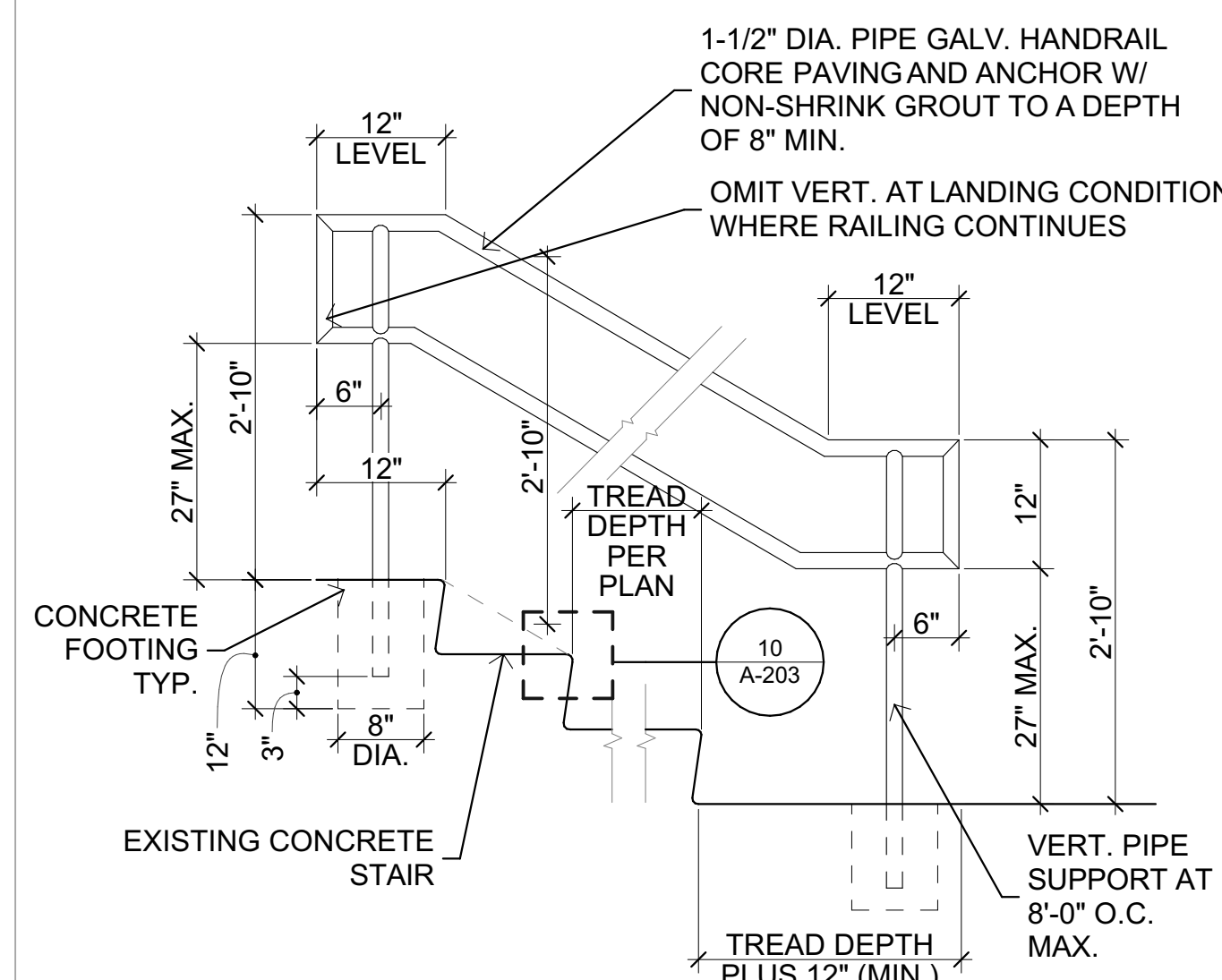
**1 ENLARGED RAMP PLAN**  
SCALE: 1/2" = 1'-0"



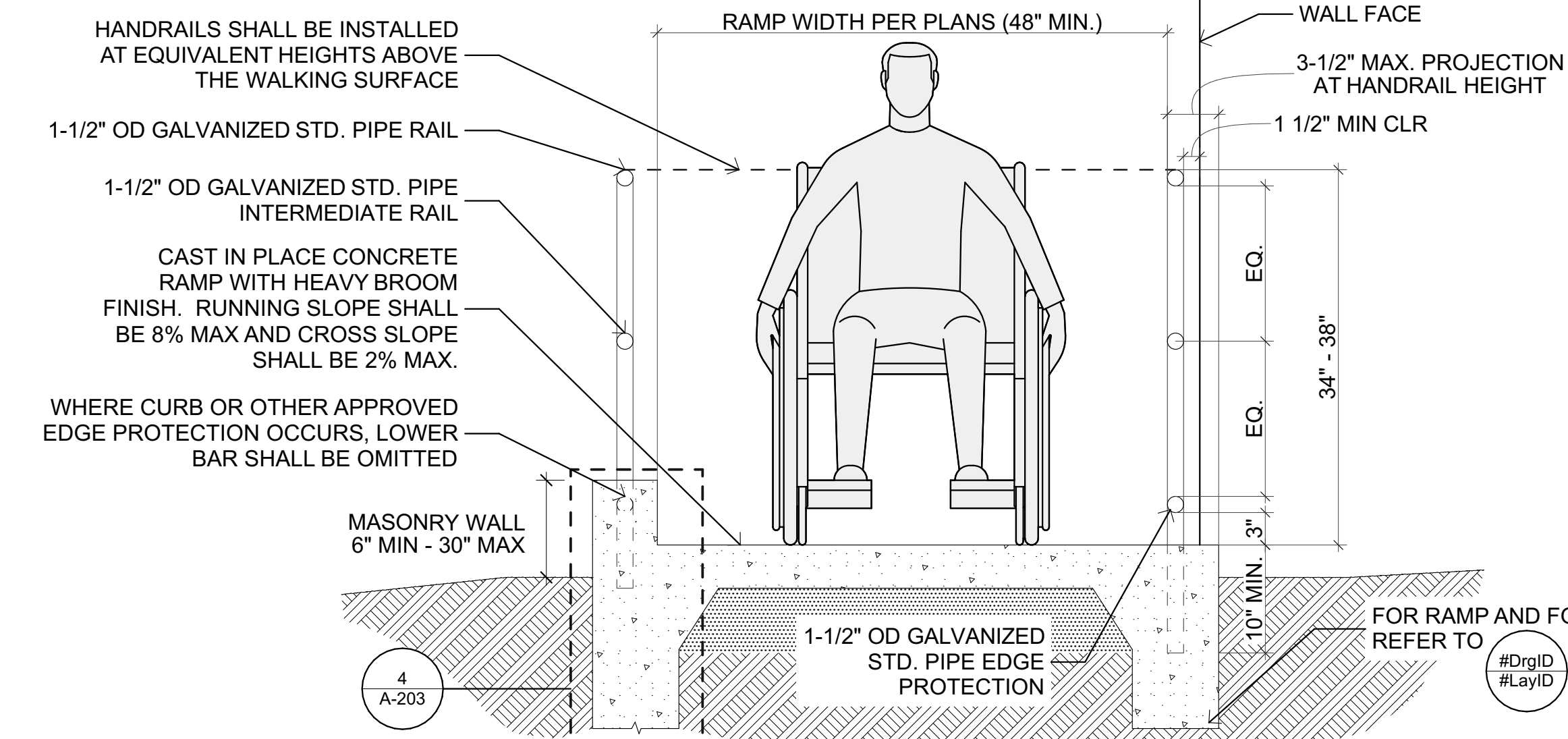
**10 STAIR CONTRASTING STRIPE**  
SCALE: 3/4" = 1'-0"



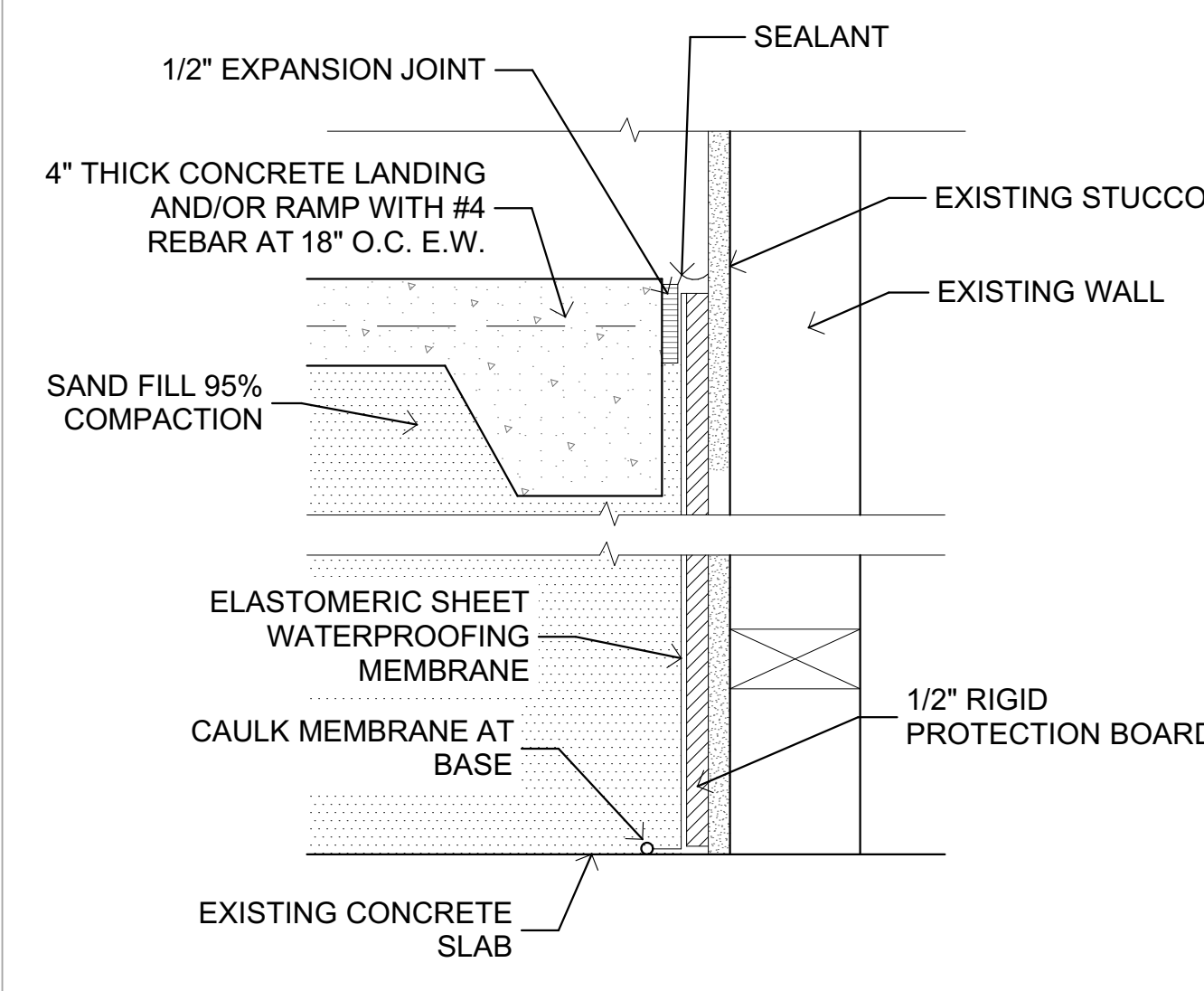
**2 RAMP HANDRAIL**  
SCALE: 1/4" = 1'-0"



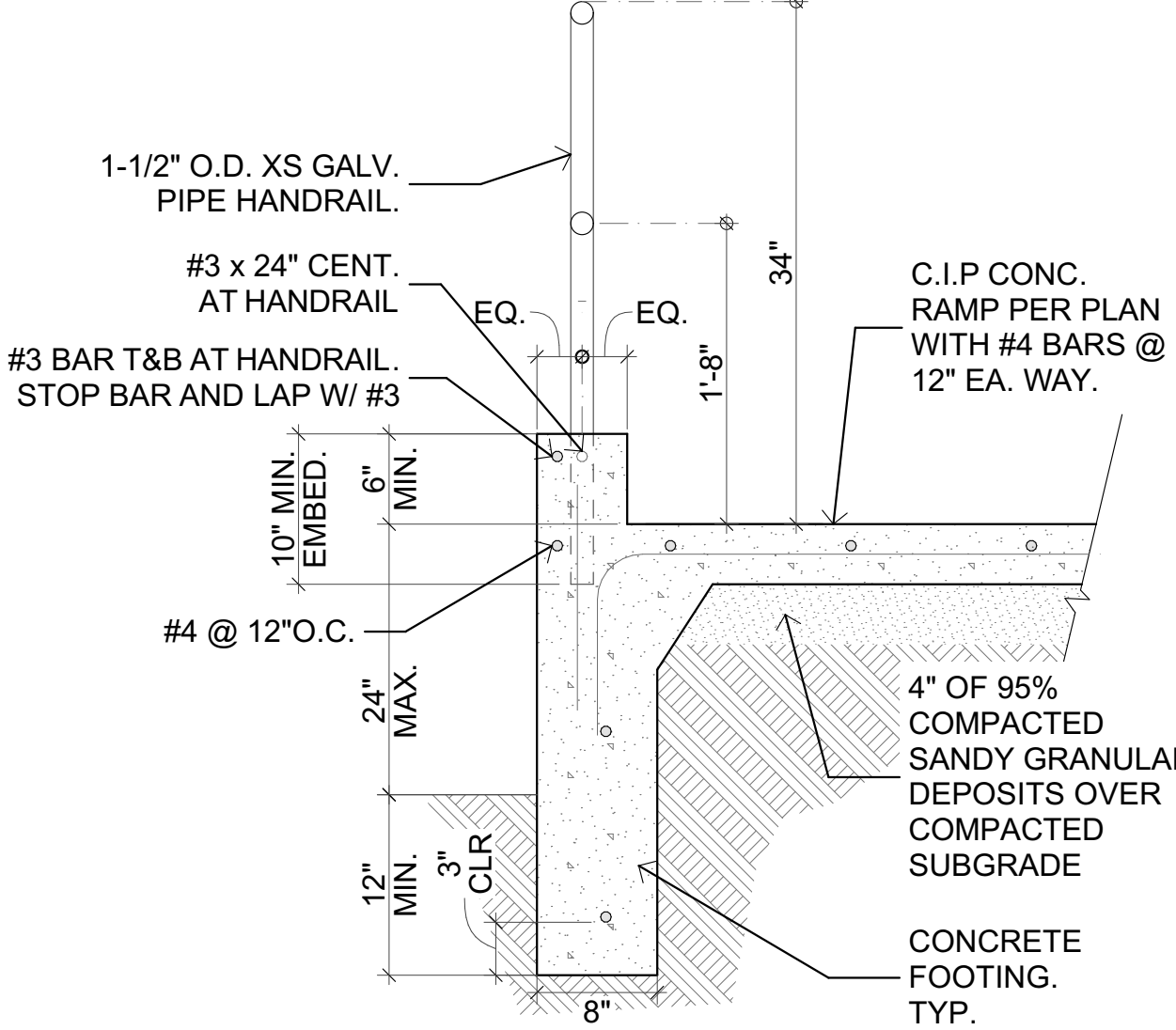
**11 STAIR HANDRAIL**  
SCALE: 3/4" = 1'-0"



**3 RAMP HANDRAIL SECTION**  
SCALE: 1" = 1'-0"

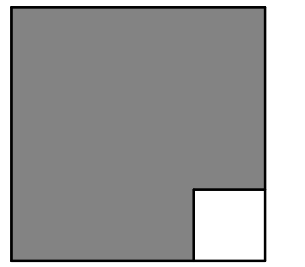


**8 LANDING AND RAMP AT WALL**  
SCALE: 1/12" = 1'-0"



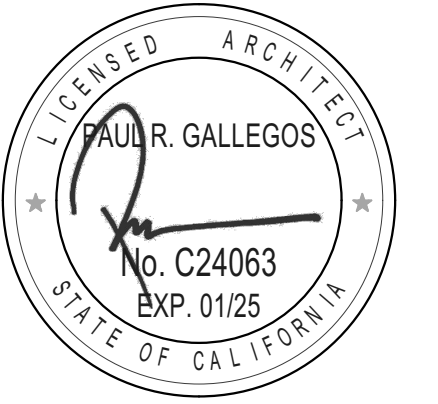
**4 RAMP FOOTING**  
SCALE: 1" = 1'-0"

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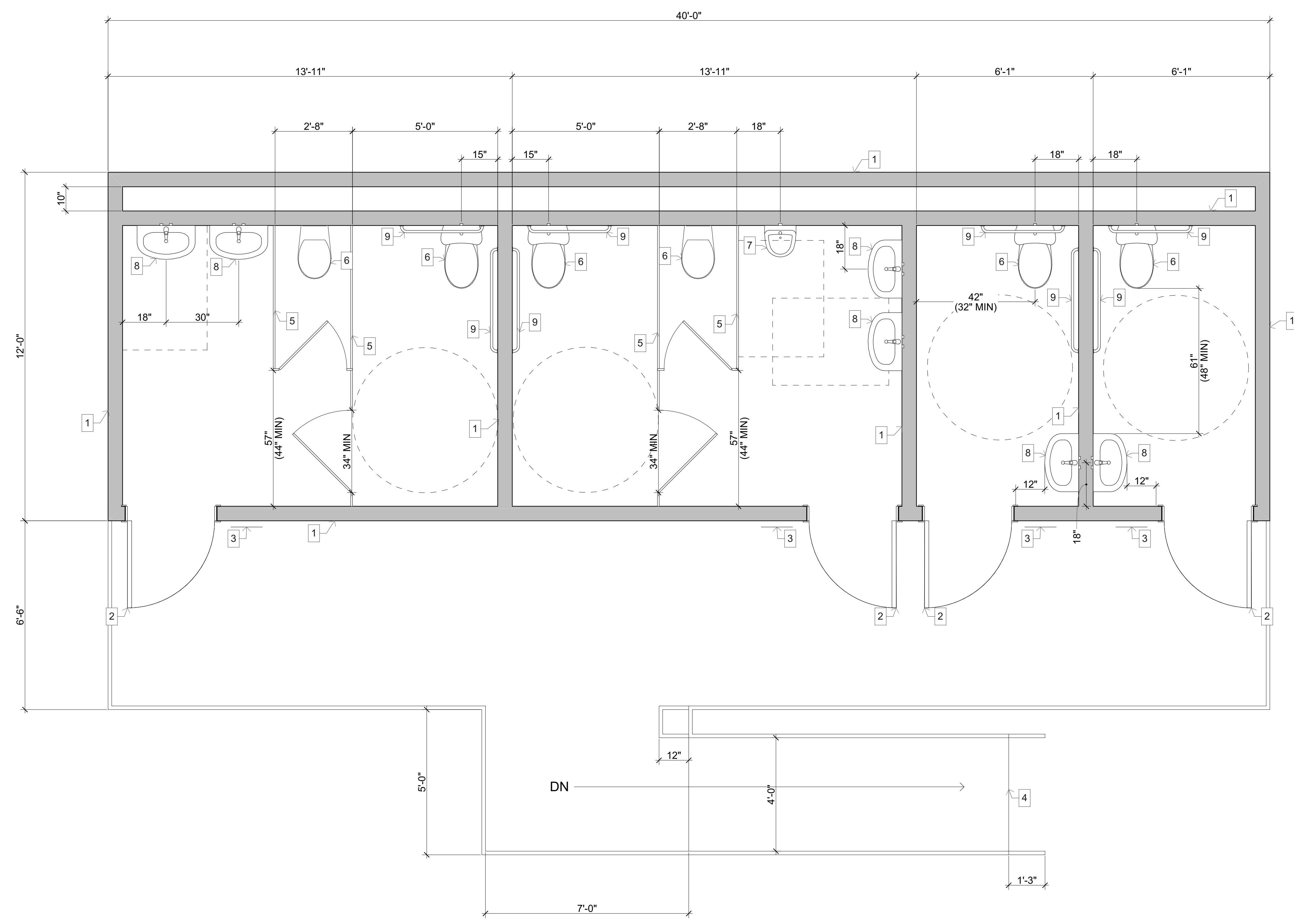
PLOT DATE:  
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SHEET TITLE

**ENLARGED RAMP PLAN**

**A-203**



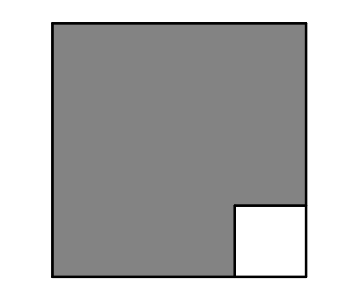


**1** RESTROOM FLOOR PLAN  
SCALE: 1/2" = 1'-0"

**KEYNOTES**

1. EXISTING WALL TO REMAIN.
2. EXISTING DOOR TO REMAIN.
3. EXISTING ROOM SIGNAGE TO REMAIN.
4. EXISTING RAMP TO REMAIN.
5. EXISTING RESTROOM PARTITION TO REMAIN. SEE 2.3.4/A-206 FOR STALL PLAN AND ELEVATIONS.
6. EXISTING TOILET TO REMAIN.
7. EXISTING URINAL TO REMAIN. SEE 6/A-206.
8. EXISTING LAVATORY TO REMAIN. SEE 1.7/A-206.
9. EXISTING GRAB BAR TO REMAIN. SEE 8/A-206.

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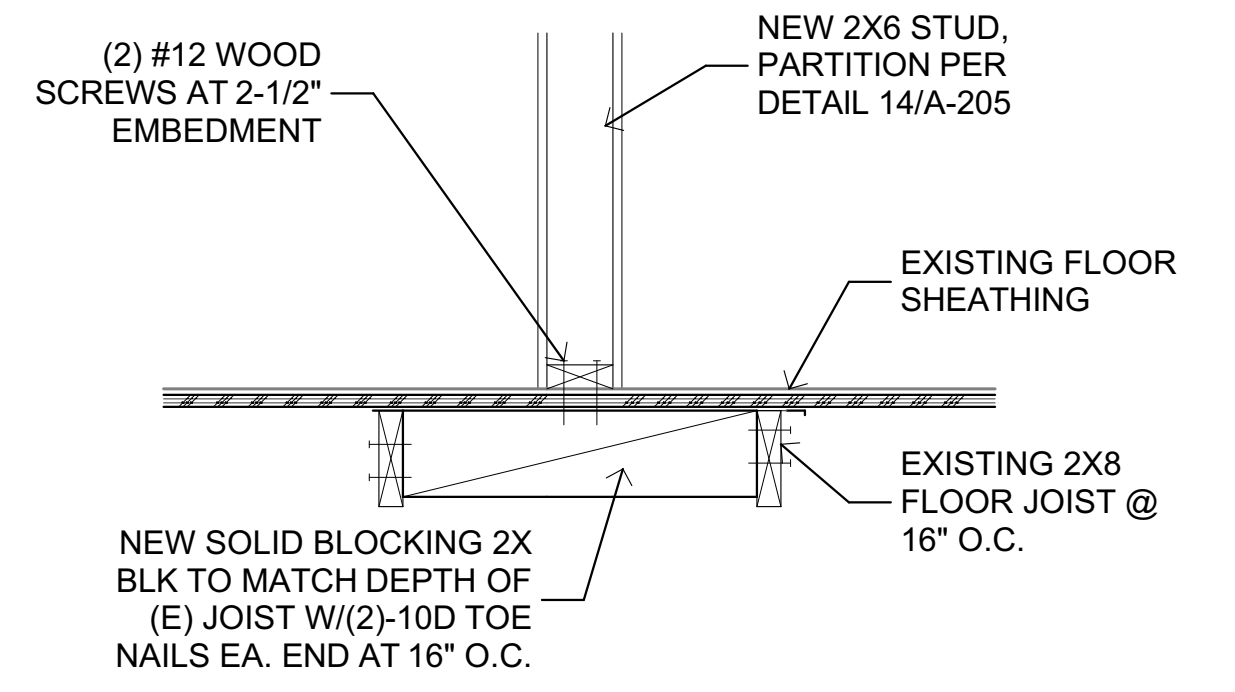
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MARK	DATE	DESCRIPTION

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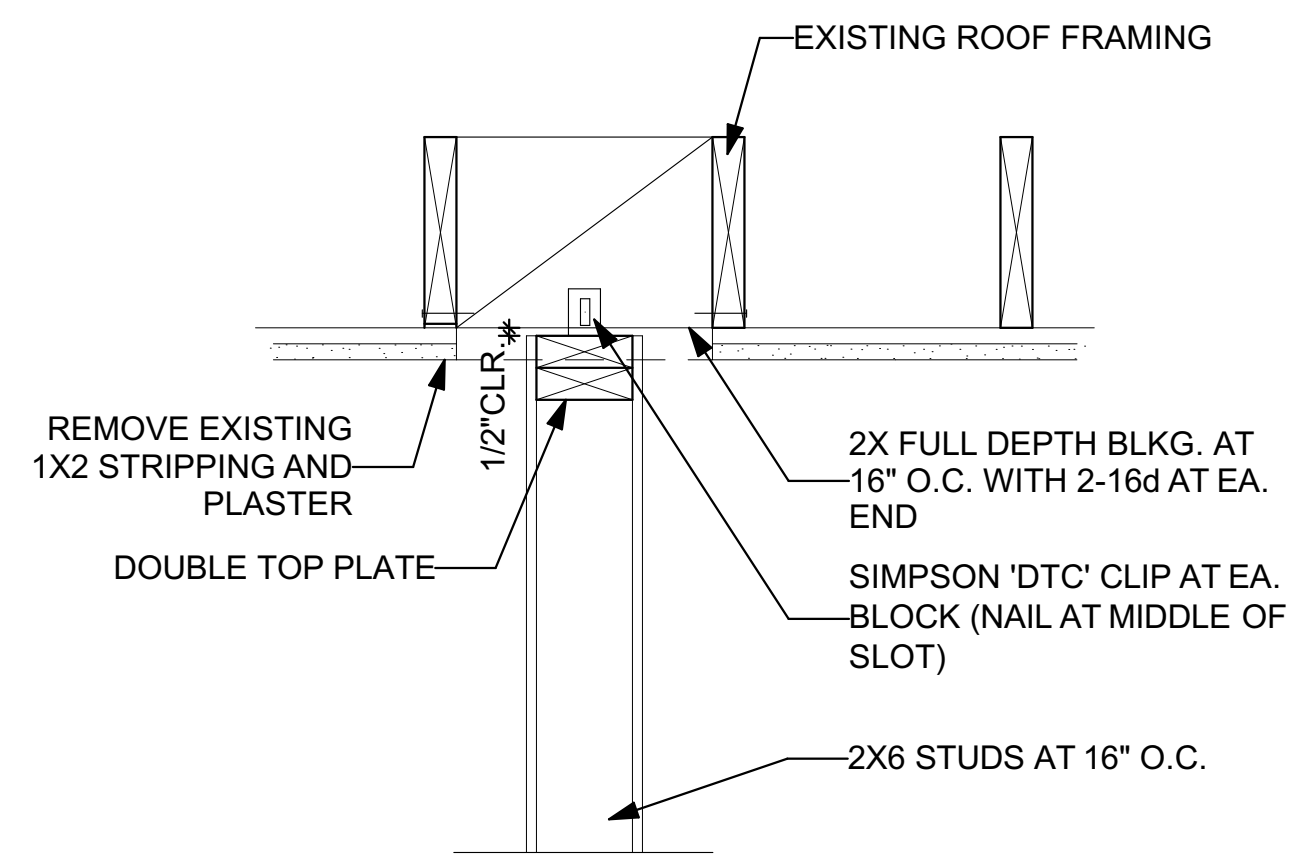
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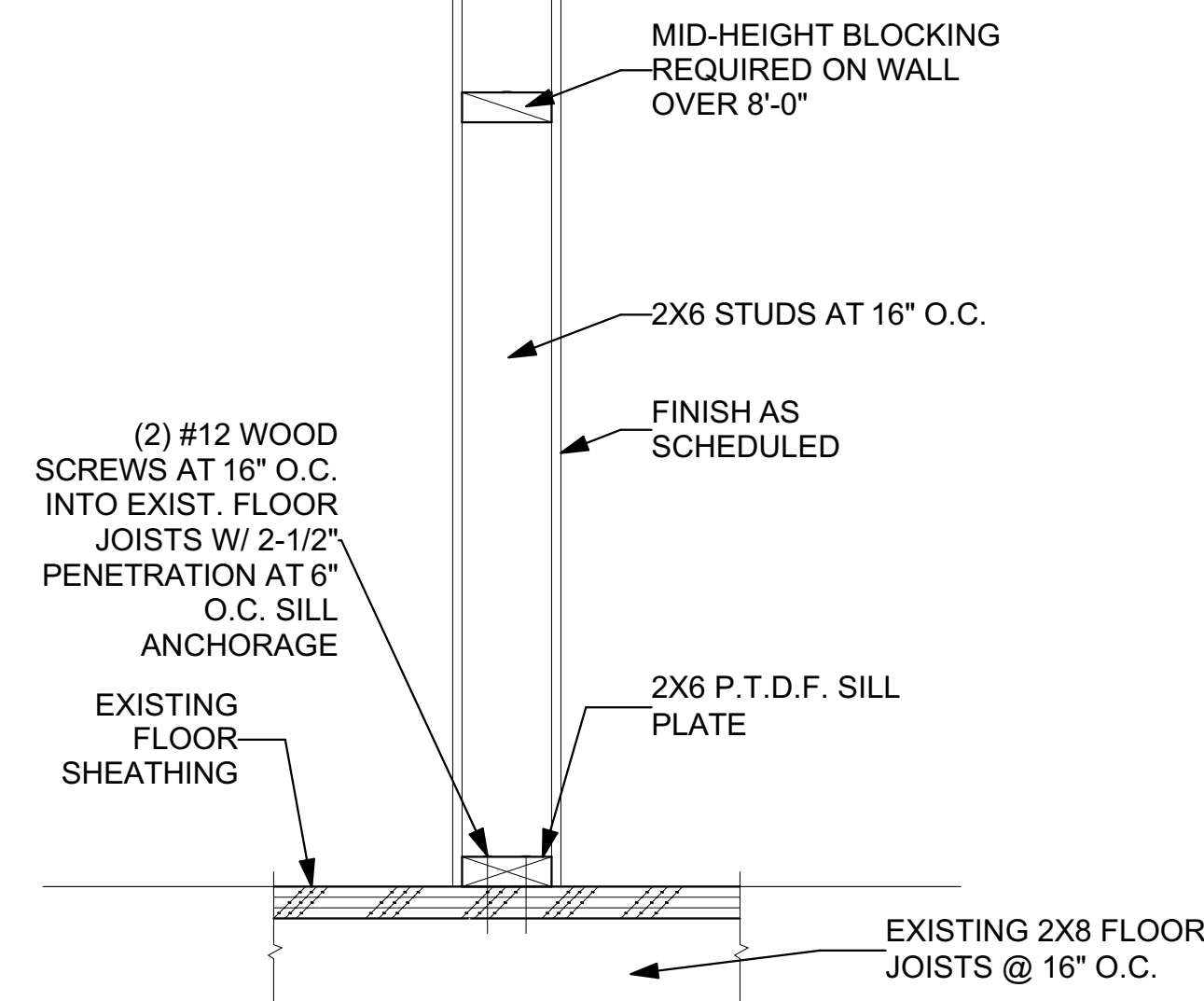
ENLARGED RESTROOM  
PLAN



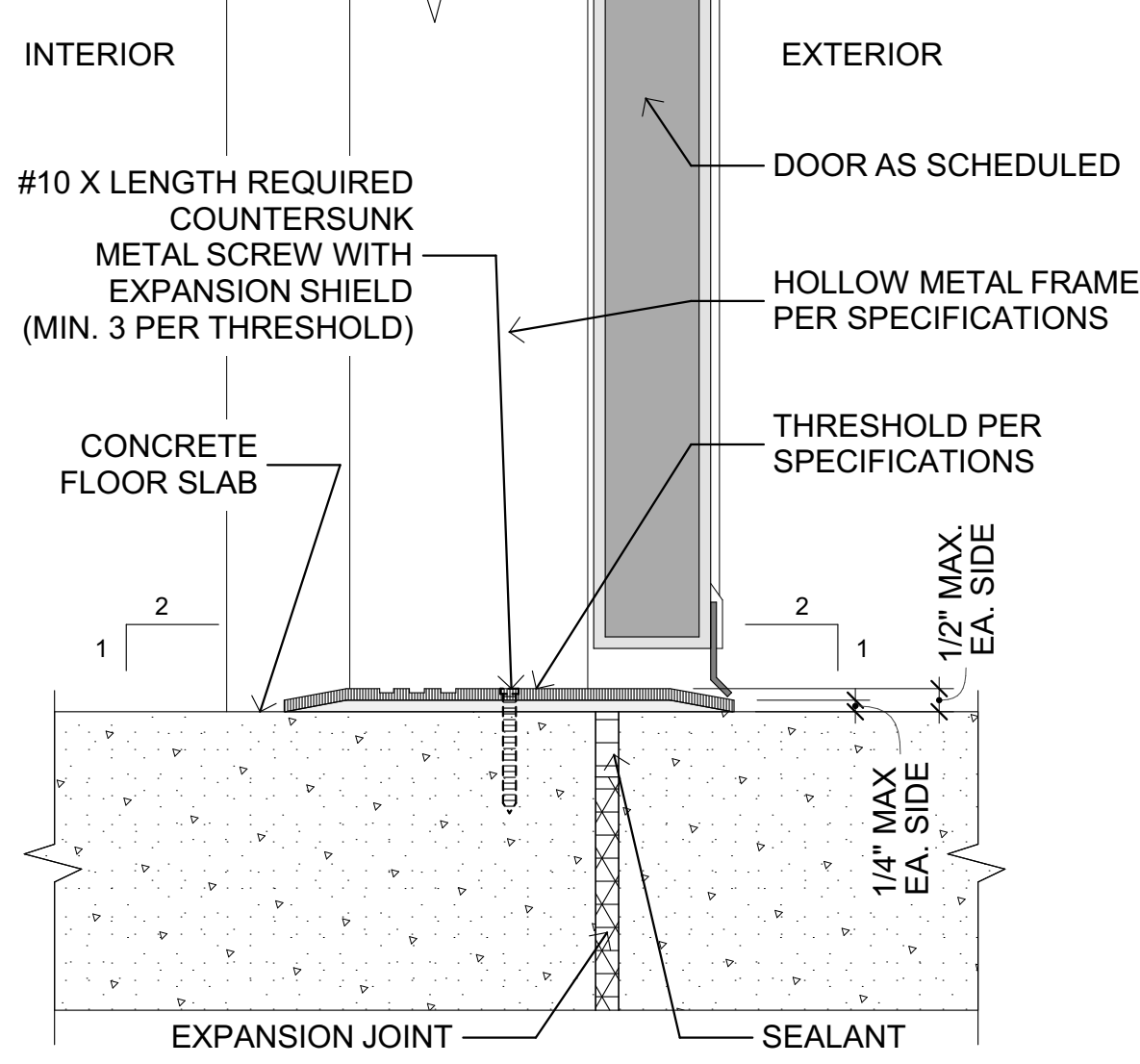
**17** PARTITION FLOOR PARALLEL TO FRAMING  
SCALE: 3/4\"/>



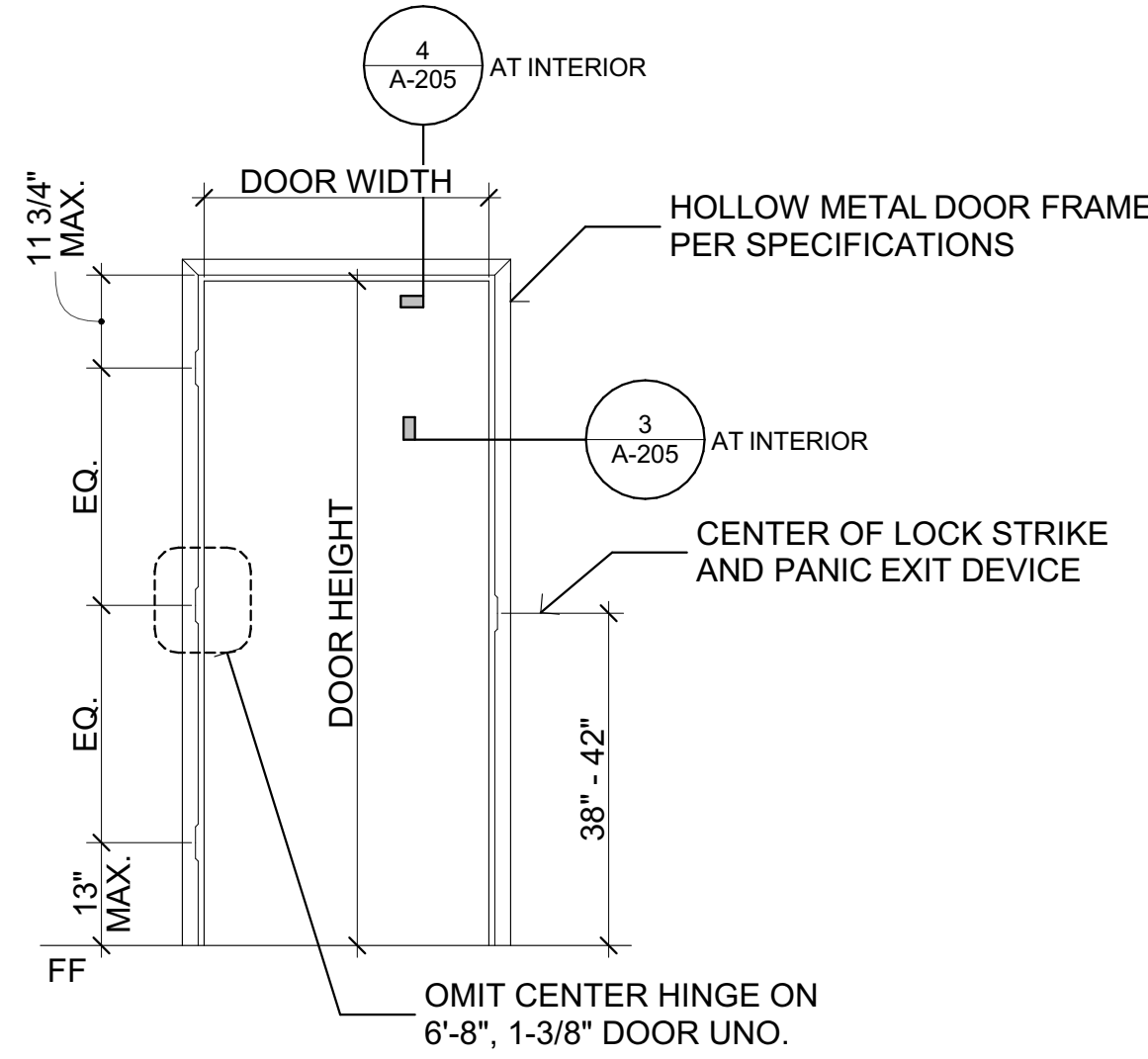
**14** NON-BEARING PARTITION  
SCALE: 1\"/>



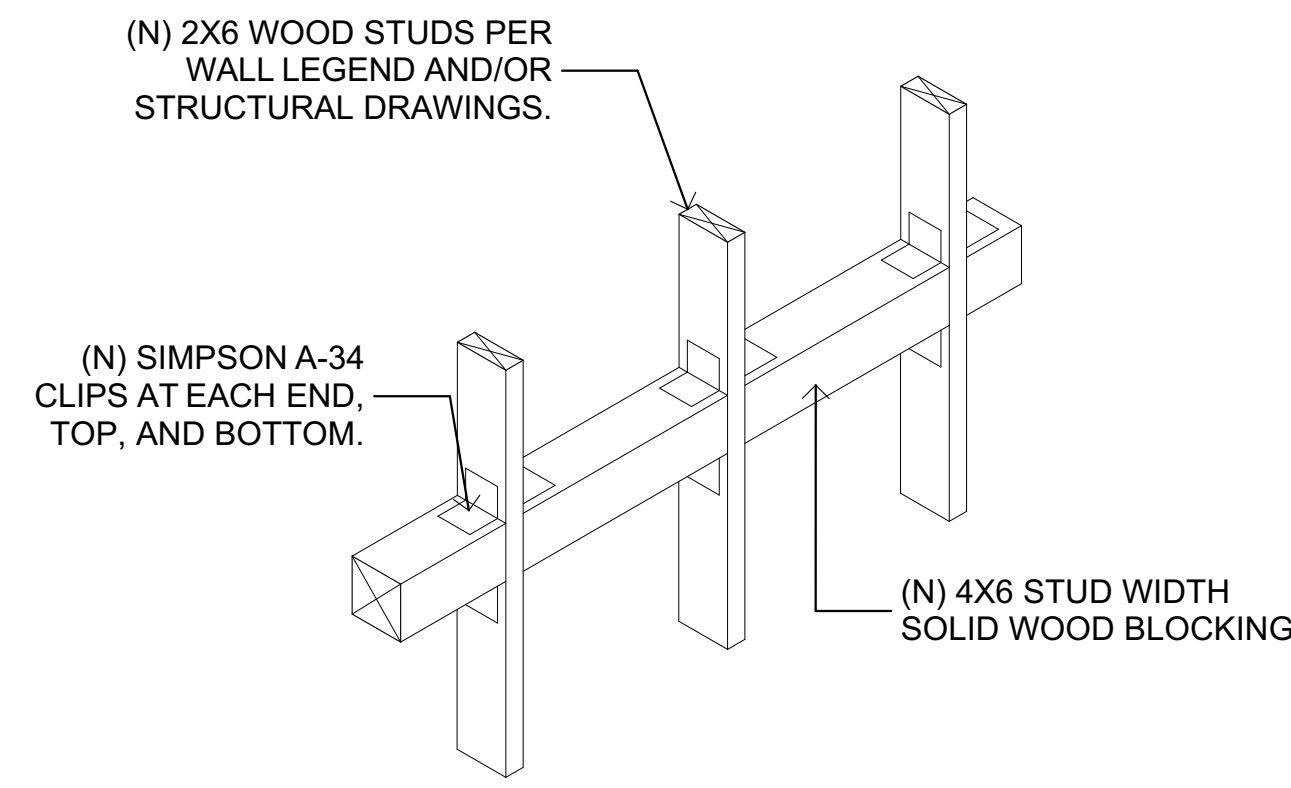
**15** PART. PERP. TO FRAMING  
SCALE: 1\"/>



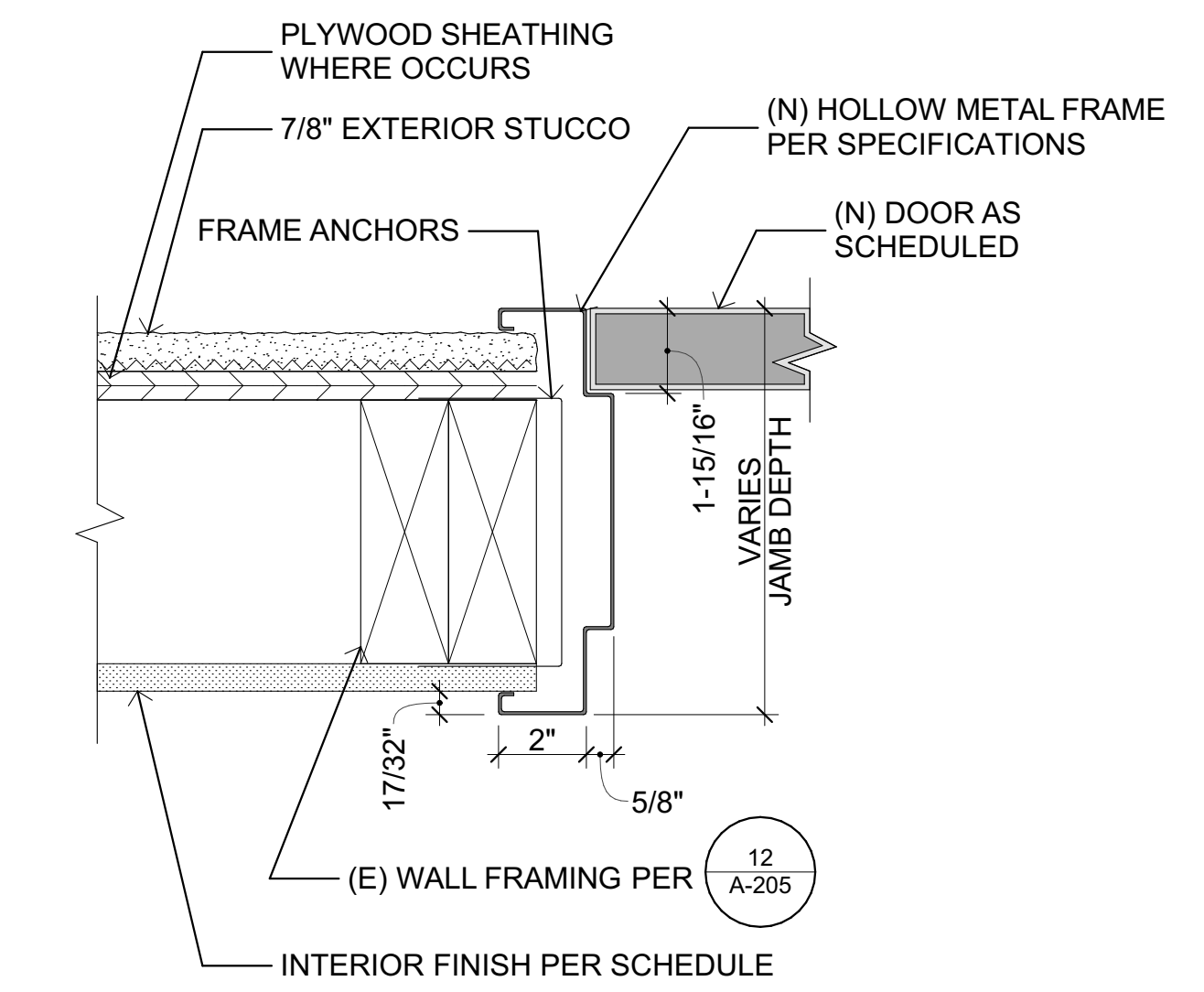
**9** TYP. EXT. DOOR THRESHOLD  
SCALE: 3\"/>



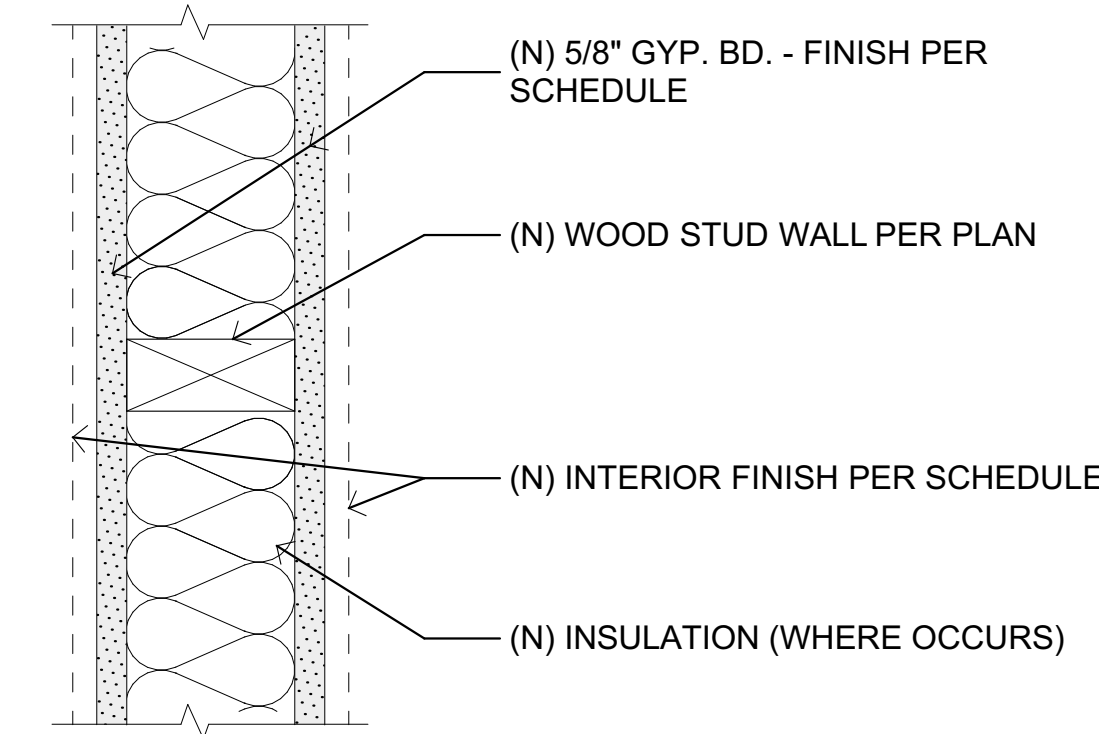
**10** TYPICAL HARDWARE LOCATIONS  
SCALE: 1/2\"/>



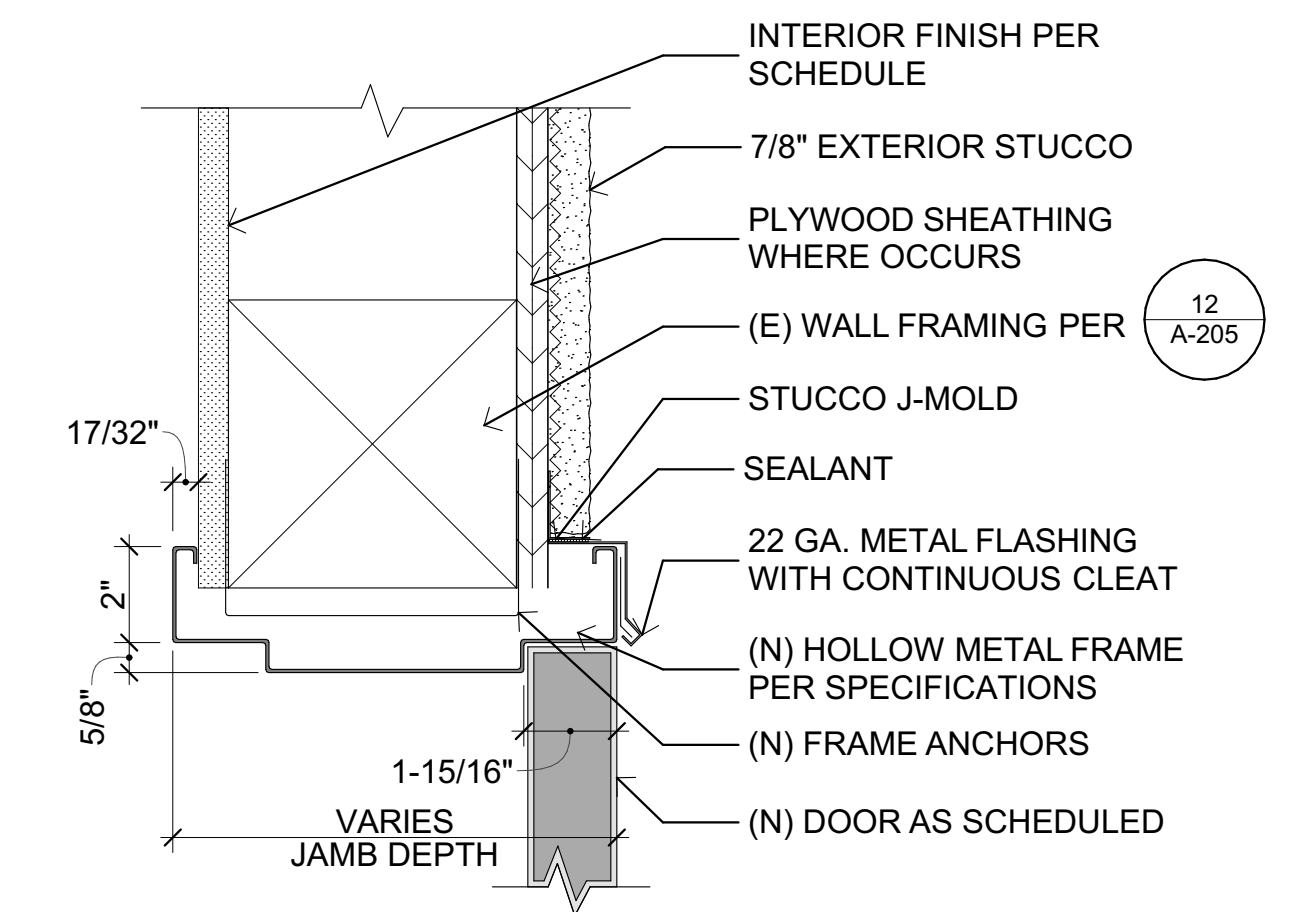
**5** TYPICAL WOOD BLOCKING  
SCALE: 1\"/>



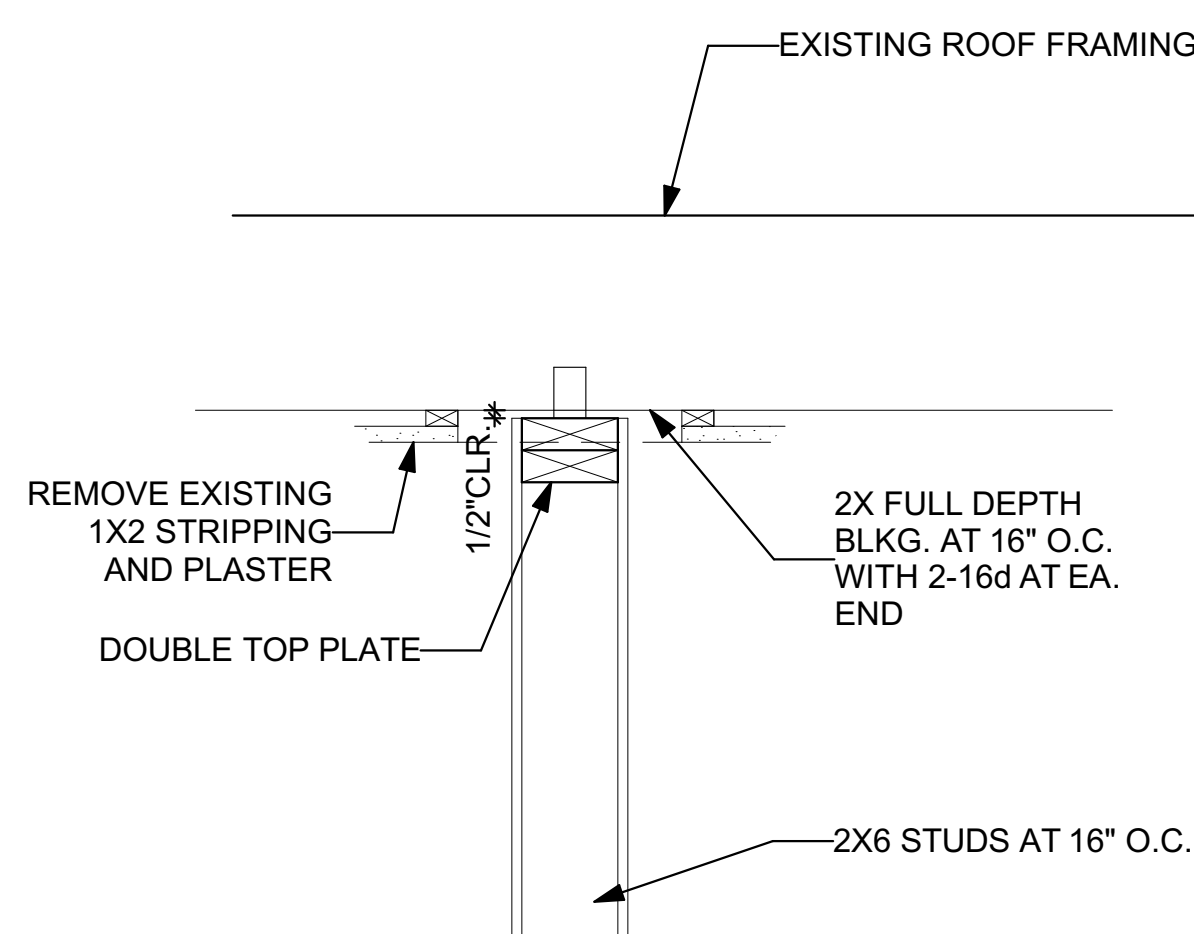
**1** TYPICAL EXTERIOR DOOR JAMB  
SCALE: 3\"/>



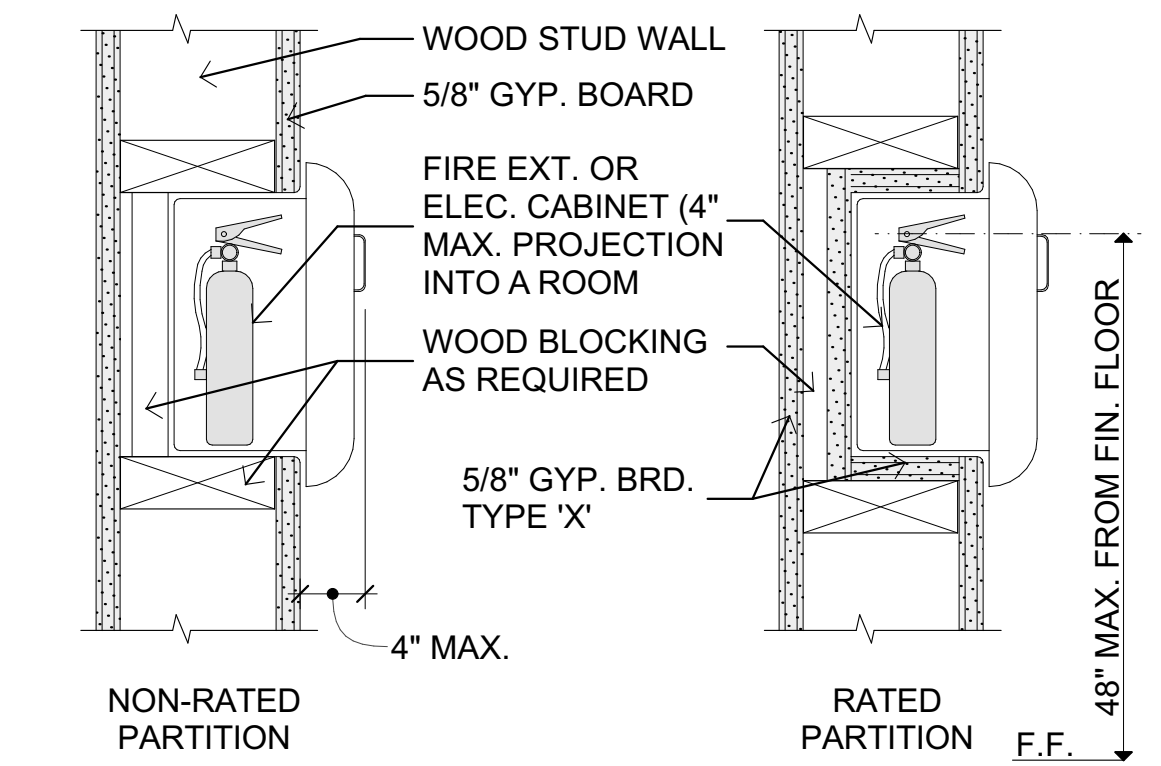
**6** INT. NON-BEARING WOOD WALL  
SCALE: 3\"/>



**2** TYPICAL EXTERIOR DOOR HEAD  
SCALE: 3\"/>

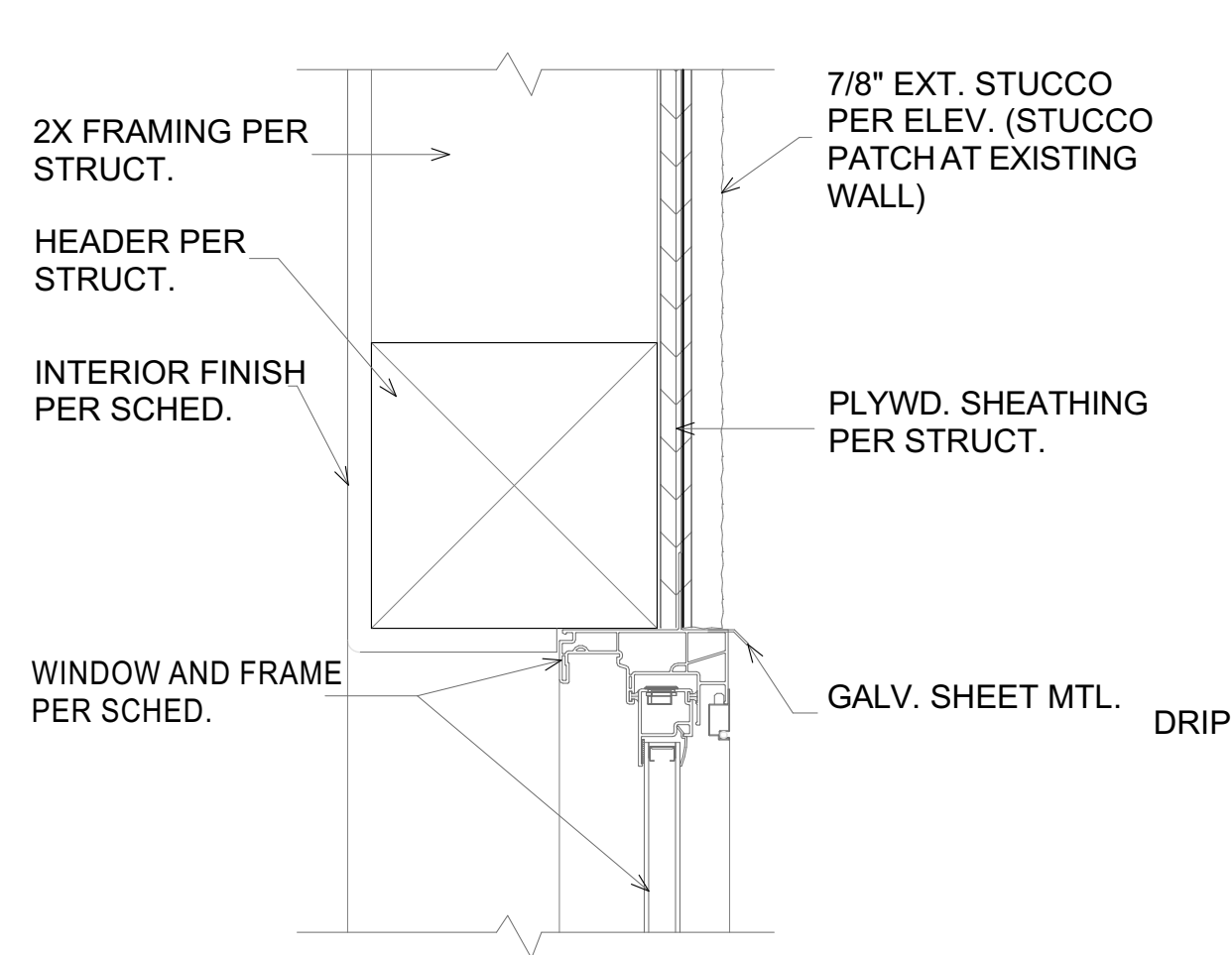


**15** PART. PERP. TO FRAMING  
SCALE: 1\"/>

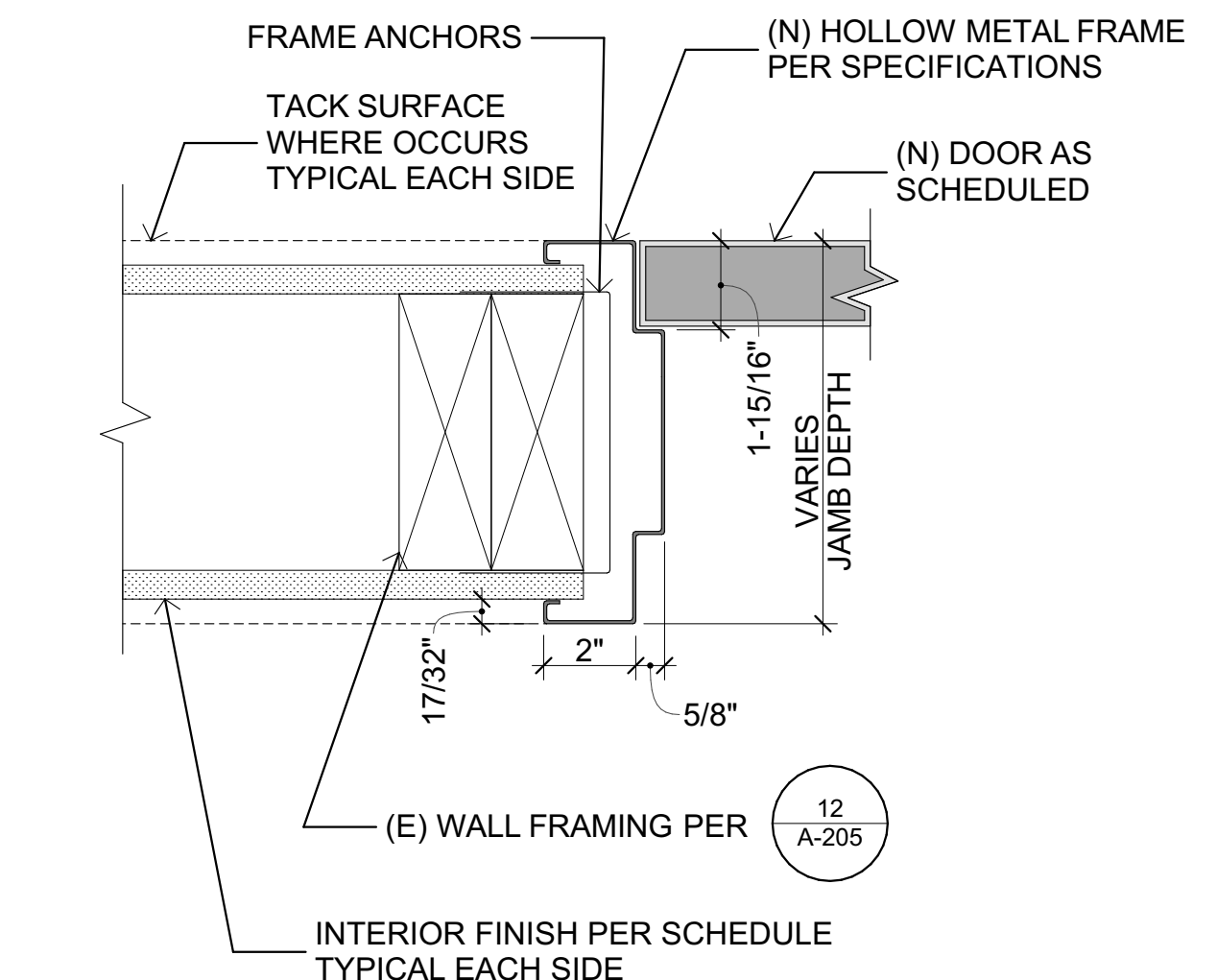


**11** FIRE EXTINGUISHER CABINET  
SCALE: 3\"/>

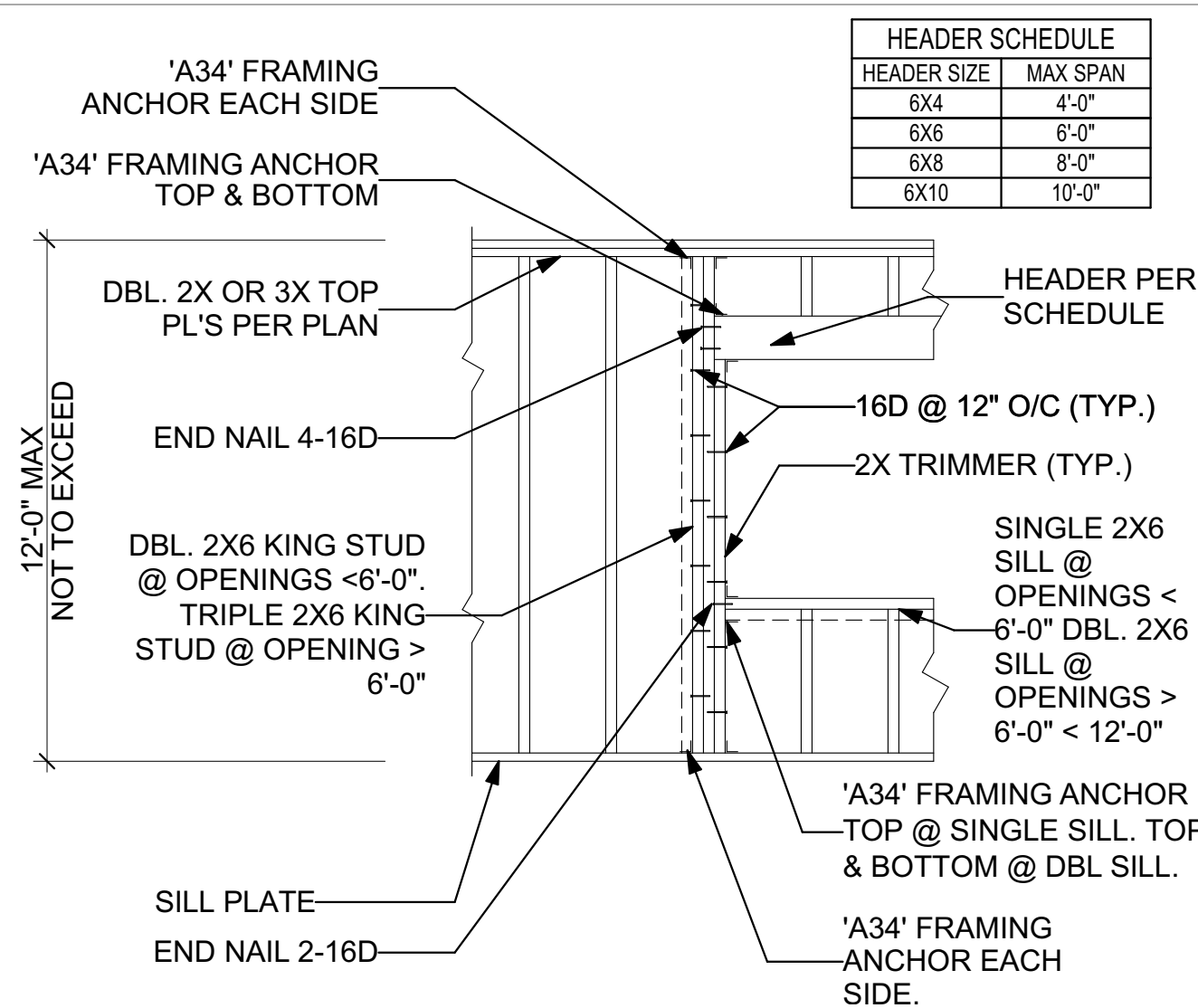
NOTES:  
1. AT 1-HR FIRE WALLS, LINE ALL SIDES AND BACK OF OPENING WITH 5/8\"/>



**7** TYP. INT. WINDOW HEAD  
SCALE: 3\"/>

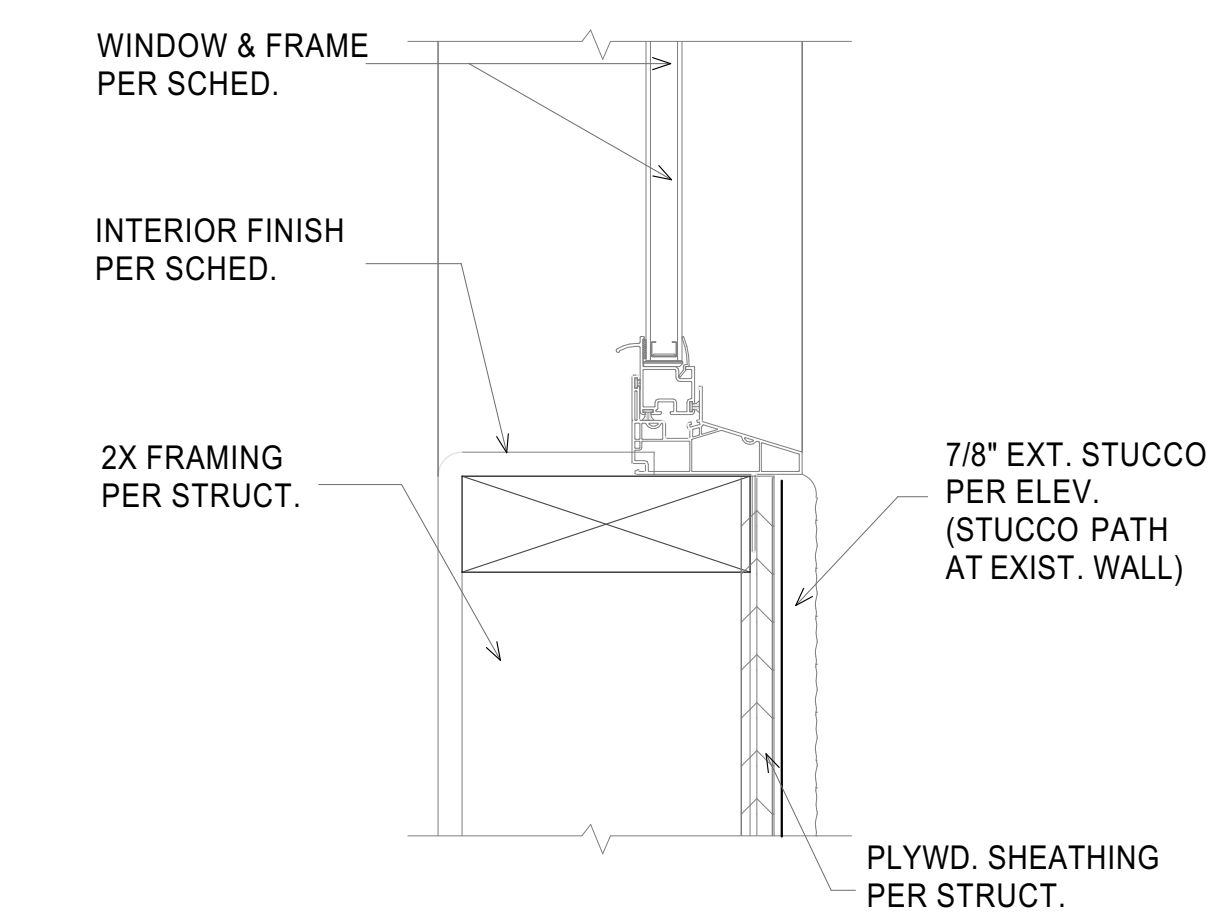


**3** TYPICAL INTERIOR DOOR JAMB  
SCALE: 3\"/>

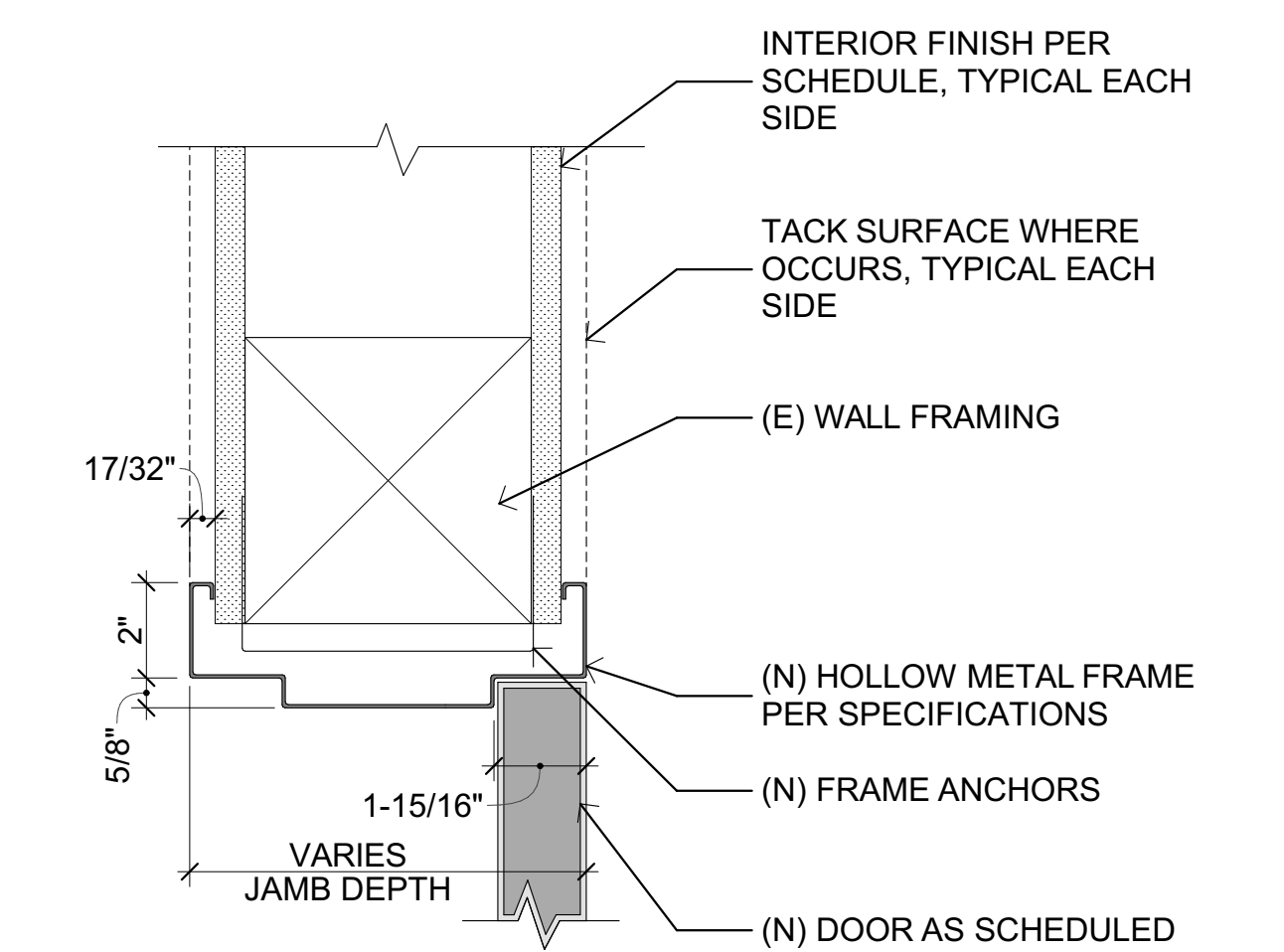


**12** TYP. FRAMING @ 2X STUD WALL  
SCALE: 1\"/>

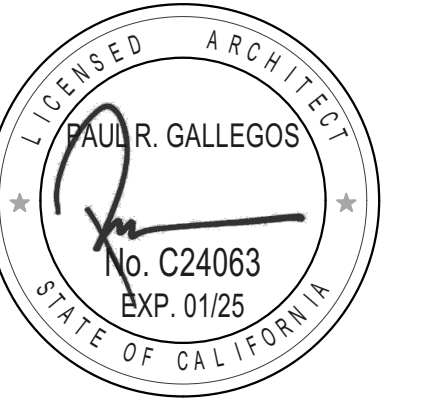
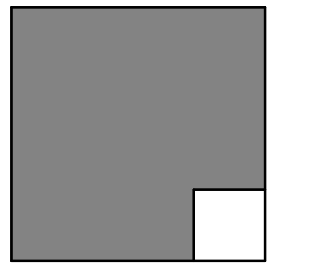
HEADER SCHEDULE	
HEADER SIZE	MAX SPAN
6X4	4'-0"
6X6	6'-0"
6X8	8'-0"
6X10	10'-0"



**8** TYP. INT. WINDOW SILL  
SCALE: 3\"/>



**4** TYPICAL INTERIOR DOOR HEAD  
SCALE: 3\"/>

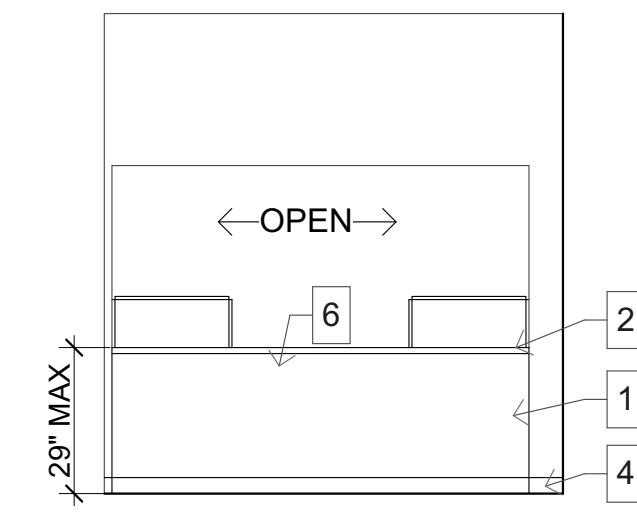


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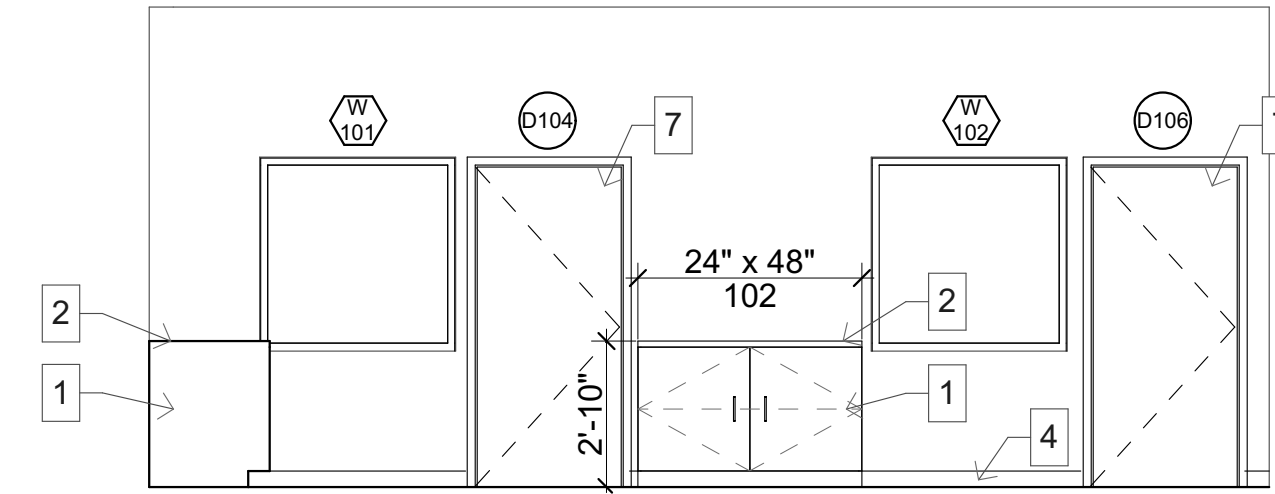
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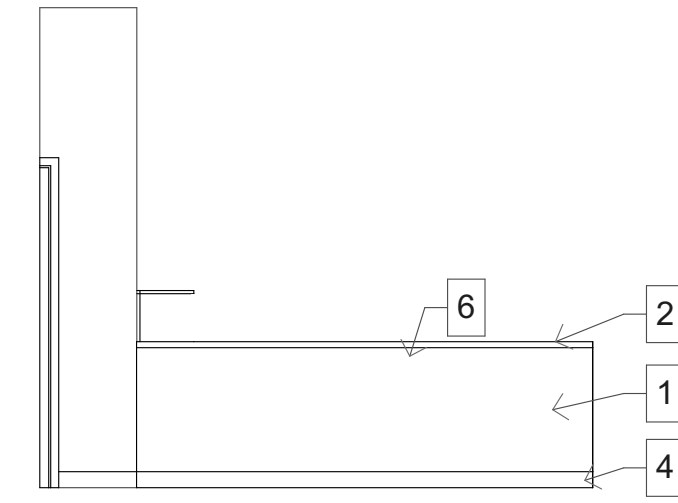
SHEET TITLE



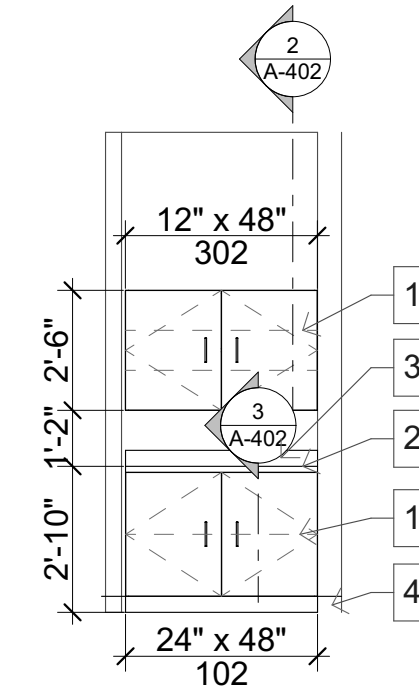
**1 RECEPTION FRONT**  
SCALE: 1/4" = 1'-0"



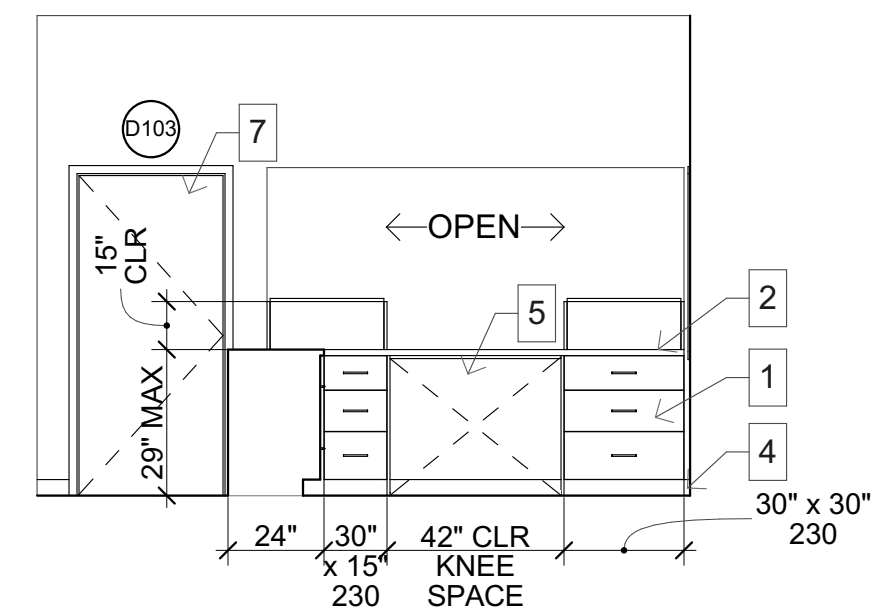
**6 OFFICES, CASEWORK FRONT**  
SCALE: 1/4" = 1'-0"



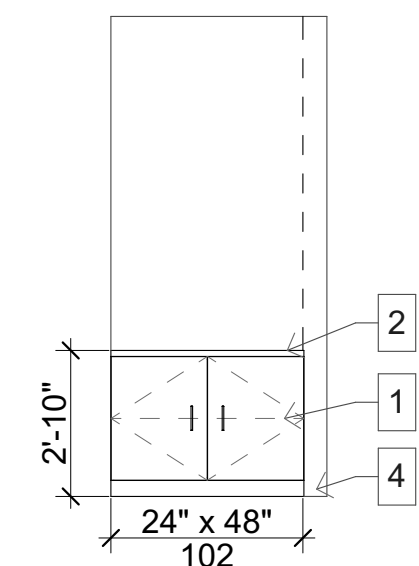
**2 RECEPTION SIDE**  
SCALE: 1/4" = 1'-0"



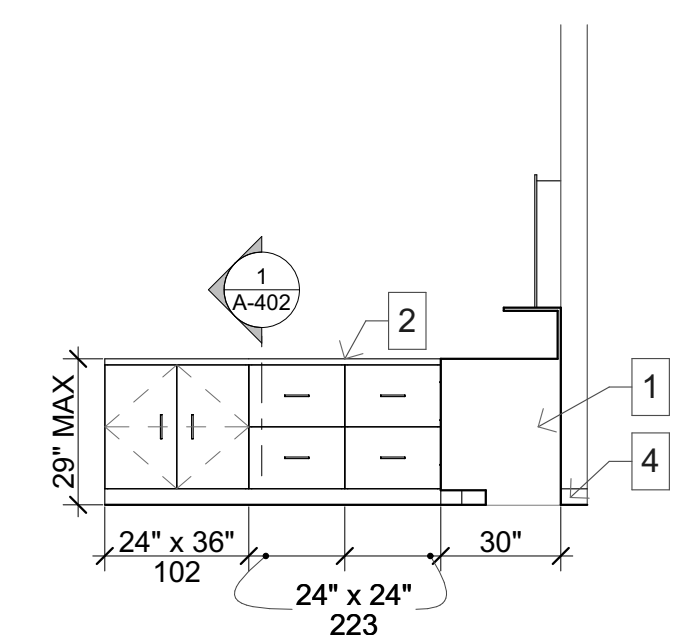
**7 HEALTH CASEWORK**  
SCALE: 1/4" = 1'-0"



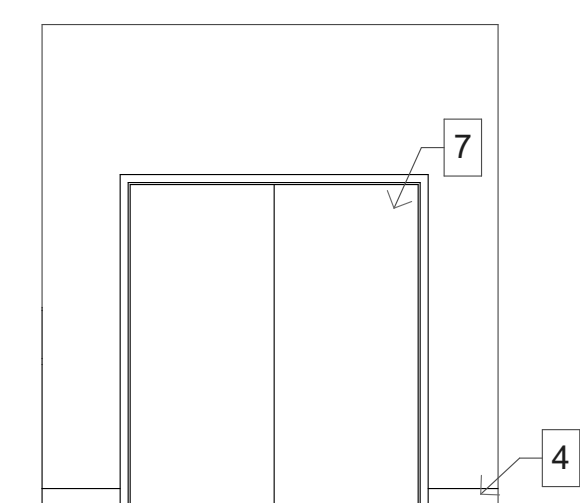
**3 RECEPTION BACK**  
SCALE: 1/4" = 1'-0"



**8 ADMIN CASEWORK**  
SCALE: 1/4" = 1'-0"



**4 RECEPTION INTERIOR**  
SCALE: 1/4" = 1'-0"

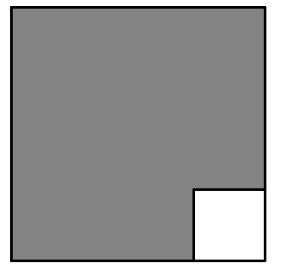


**5 HALL DOUBLE DOOR FRONT**  
SCALE: 1/4" = 1'-0"

**KEYNOTES**

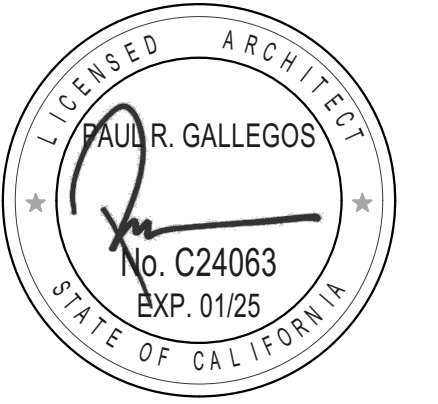
1. PLASTIC LAMINATE CASEWORK. ADJUSTABLE SHELVING INDICATED BY DASHED LINE WHERE APPLICABLE. REFER TO DETAILS 1, 2, & 3 / A-402.
2. PLASTIC LAMINATE COUNTERTOP.
3. 4" PLASTIC LAMINATE BACKSPASH.
4. 4" TOPSET RUBBER WALL BASE - REFER TO FINISH SCHEDULE.
5. KNEE SPACE.
6. PLASTIC LAMINATE FACE PANEL.
7. DOOR PER PLAN.

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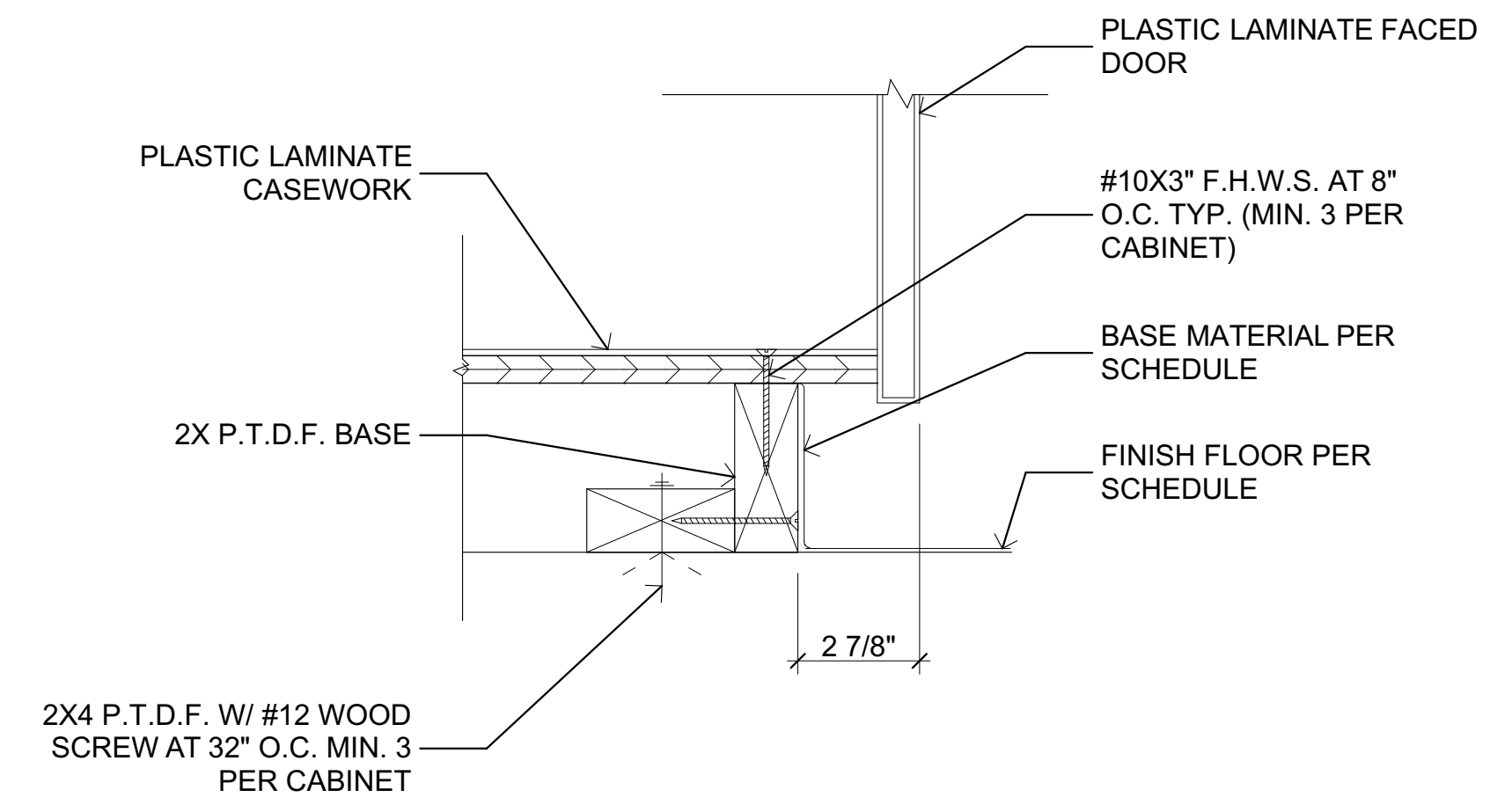
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MODEL FILE:  
23-027 MEUSD Descanso ES\_DRAFT\_23-10-11.pln

PLOT DATE:  
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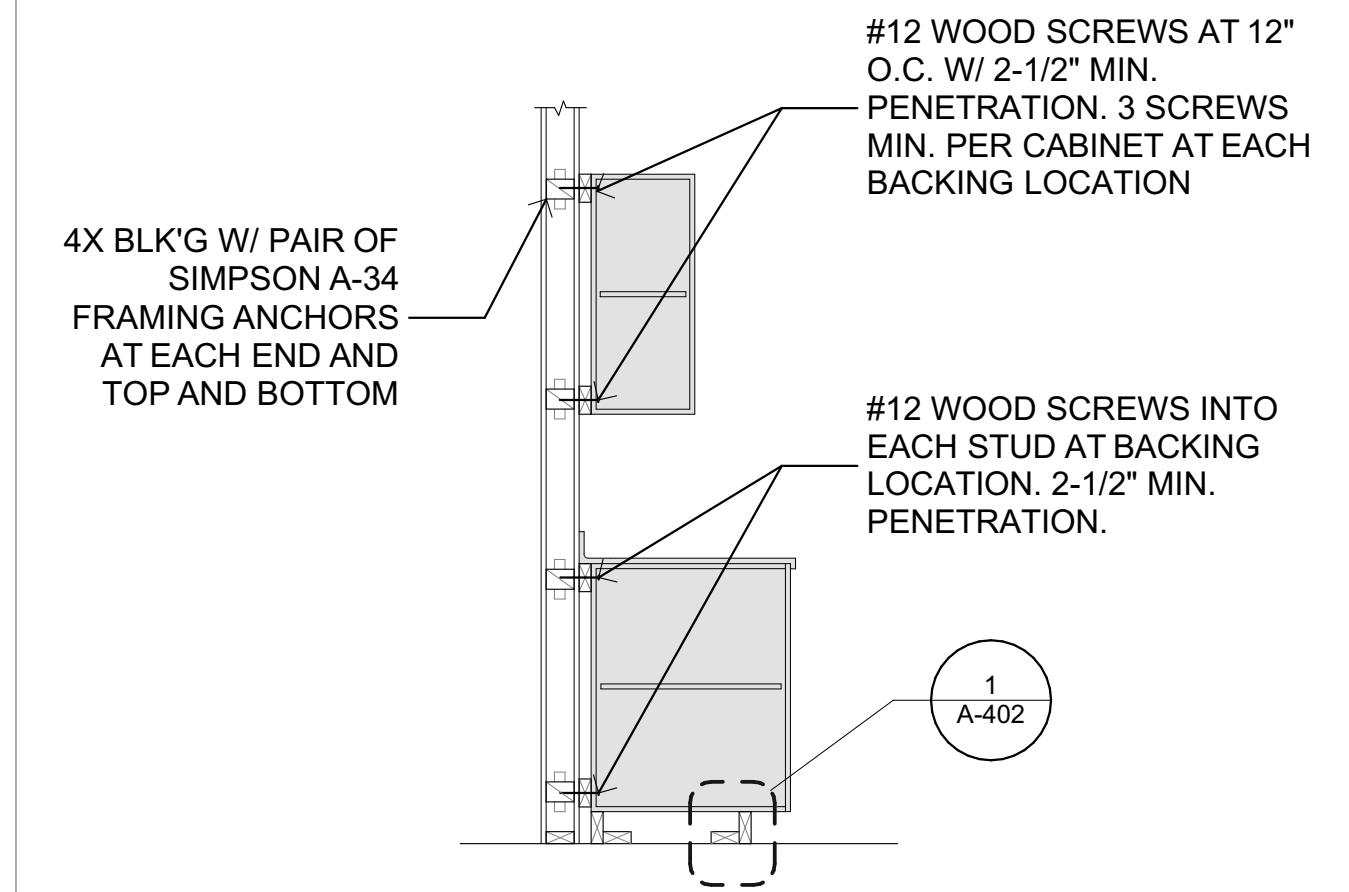
SHEET TITLE

INTERIOR ELEVATIONS

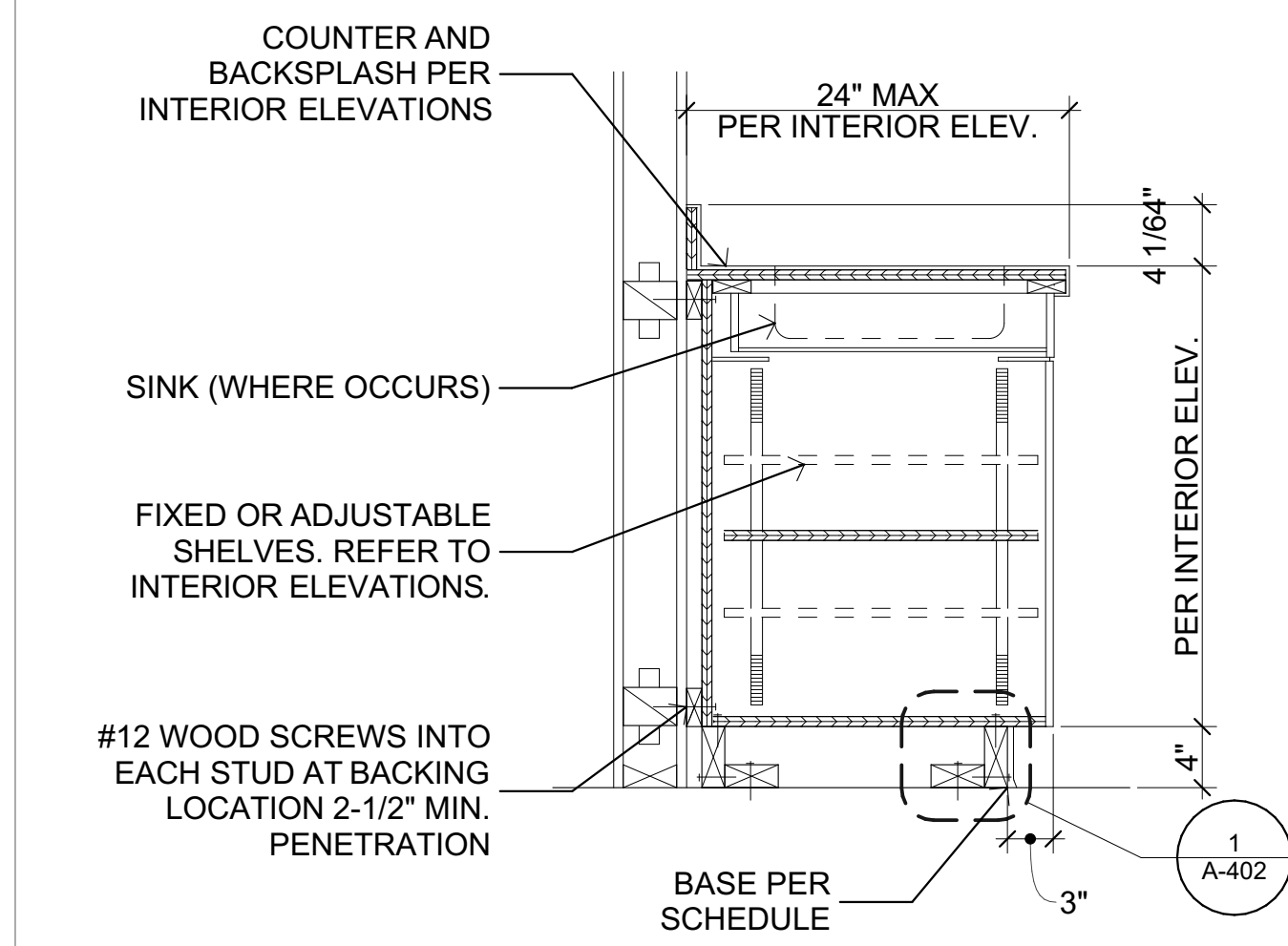




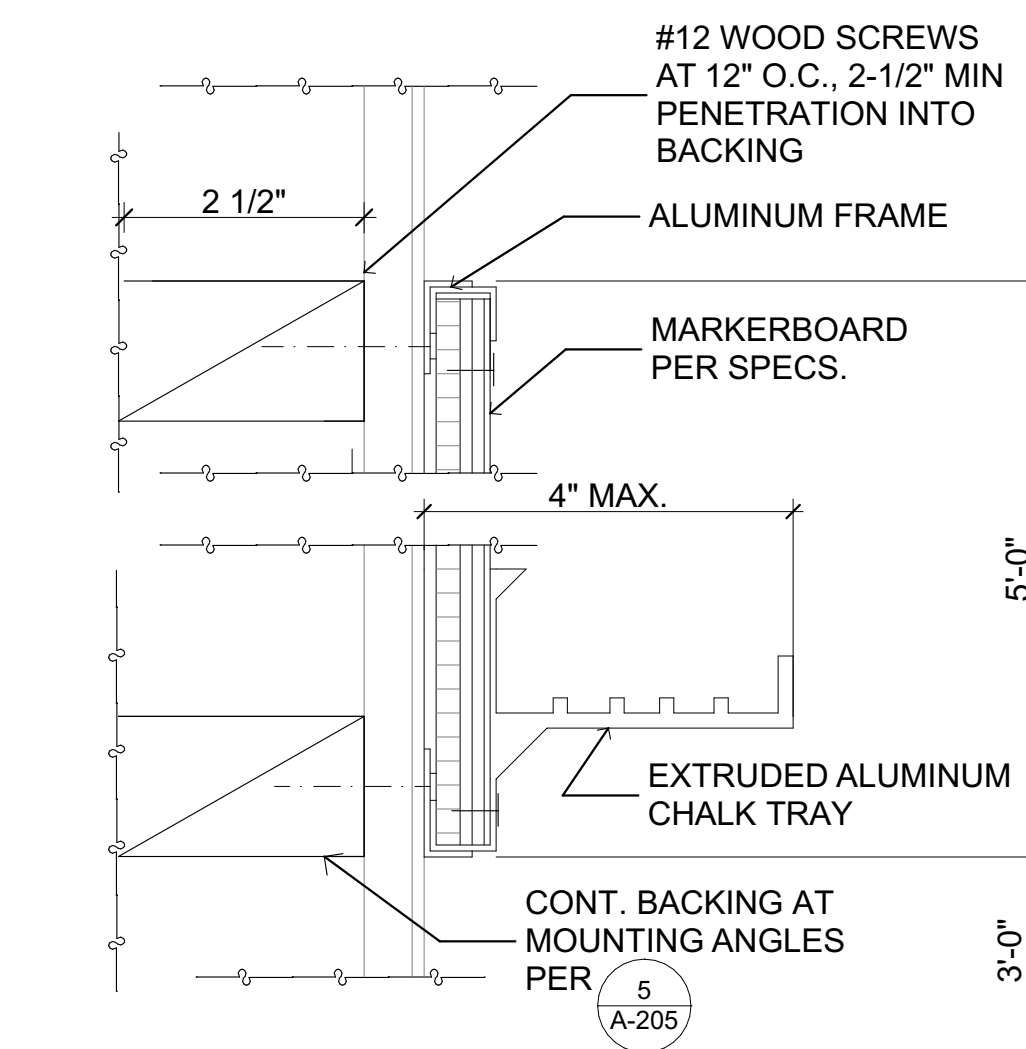
**1 CASEWORK ANCHORAGE AT BASE**  
SCALE: 3\"/>



**2 TYPICAL CASEWORK ANCHORAGE**  
SCALE: 1/2\"/>

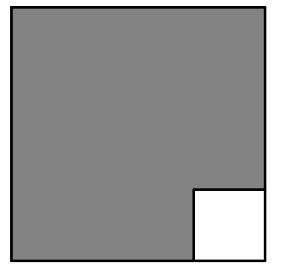


**3 BASE CABINET**  
SCALE: 3\"/>



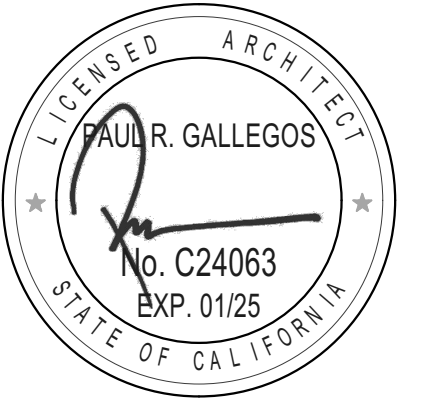
**4 TYP. MARKERBOARD**  
SCALE: 6\"/>

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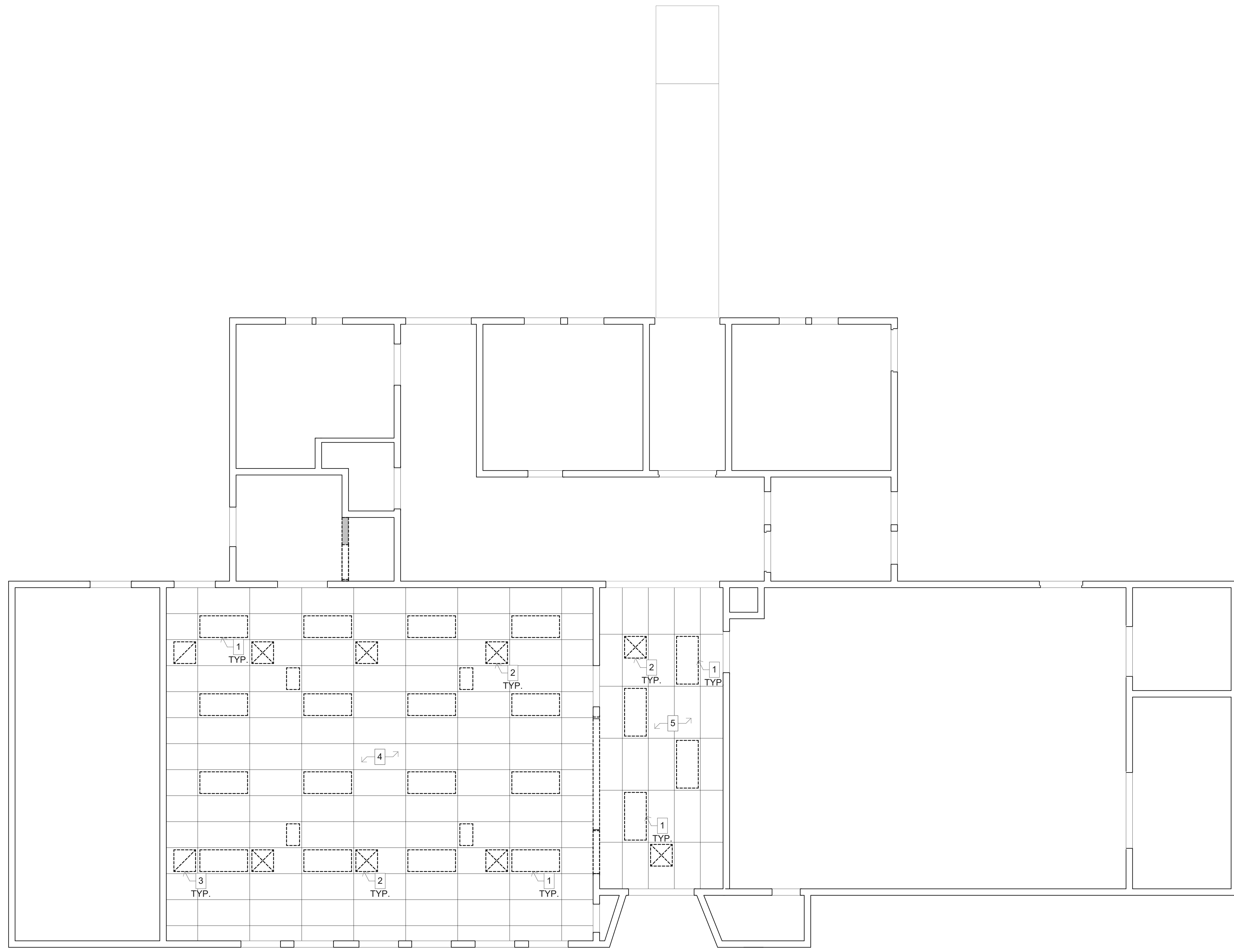
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SHEET TITLE

CASEWORK DETAILS

**A-402**

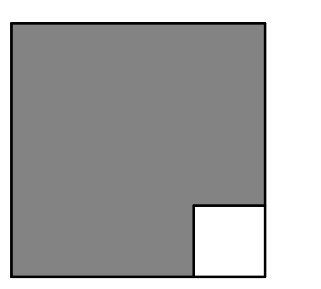


**1 REFLECTED CEILING PLAN**  
SCALE: 1/4" = 1'-0"

**KEYNOTES**

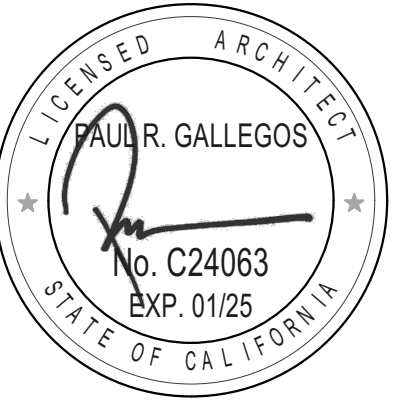
1. REMOVE EXISTING LIGHTS.
2. REMOVE EXISTING SUPPLY REGISTER.
3. REMOVE EXISTING RETURN GRILL.
4. REMOVE EXISTING SUSPENDED CEILING AT 10'-9" A.F.F.
5. REMOVE EXISTING SUSPENDED CEILING AT 9'-6" A.F.F.

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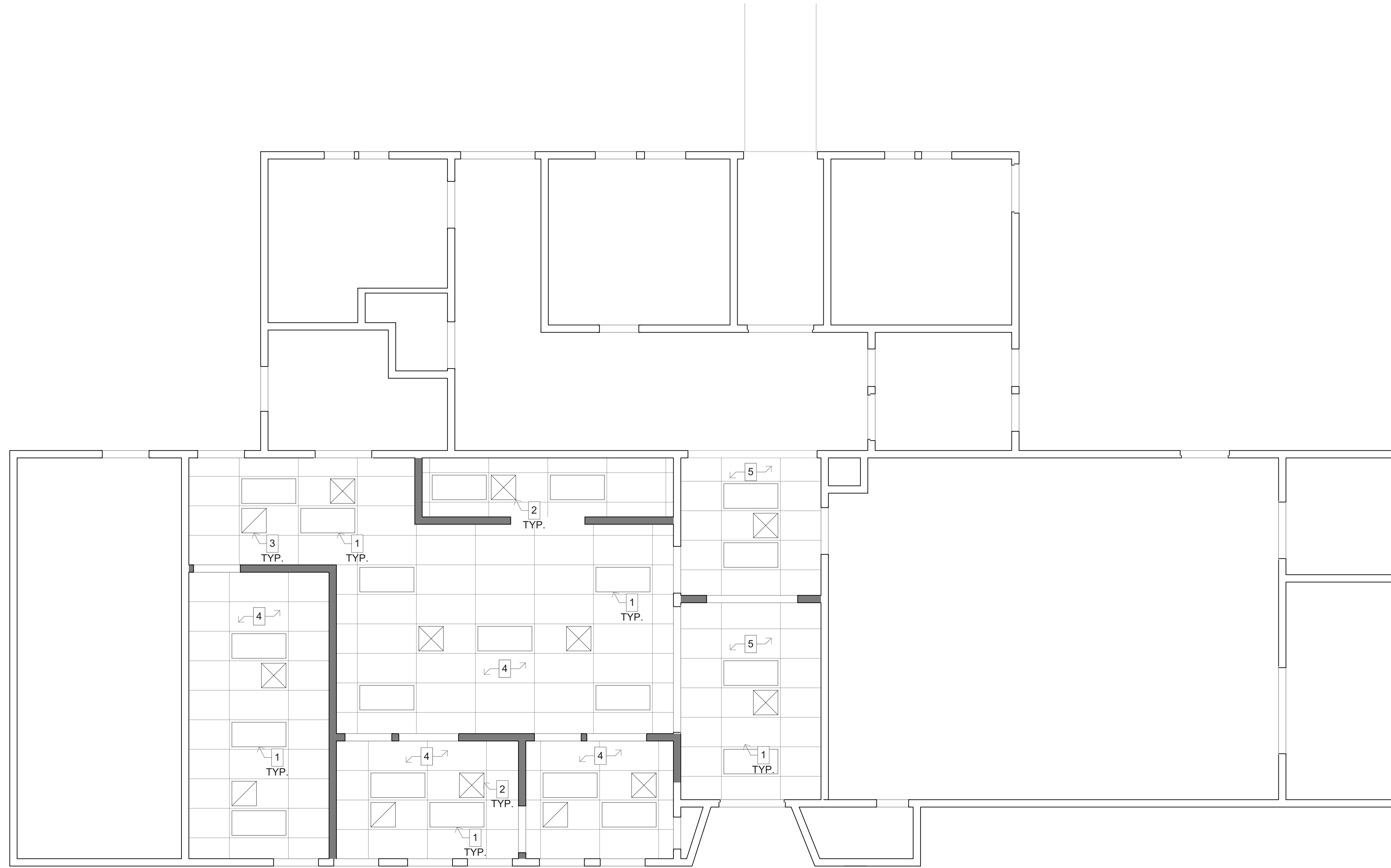
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SHEET TITLE

DEMO REFLECTED  
CEILING PLAN

**A-701**

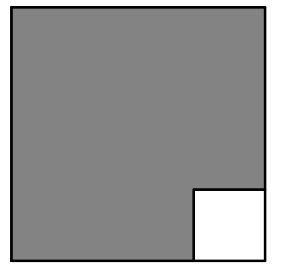


**1** NEW REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"

**KEYNOTES**

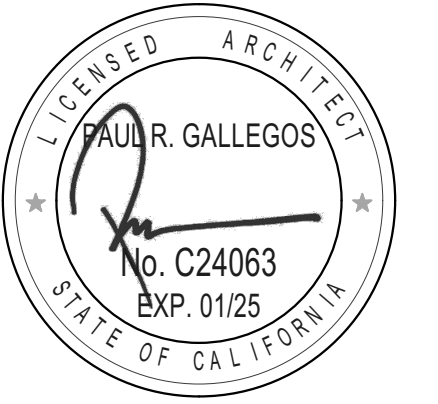
1. NEW LIGHTS. REFER TO ELECTRICAL DRAWINGS.
2. NEW SUPPLY REGISTER. RE-ROUTE FLEXIBLE DUCT TO NEW LOCATION.
3. NEW RETURN AIR GRILL. RE-ROUTE FLEXIBLE DUCT TO NEW LOCATION.
4. NEW SUSPENDED CEILING AT 10'-9" A.F.F.
5. NEW SUSPENDED CEILING AT 9'-6" A.F.F.

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**GENERAL NOTES**

1. SEE SHEETS A-703 & A-704 FOR TYPICAL SUSPENDED ACOUSTICAL CEILING NOTES AND DETAILS.
2. REFER TO THE FINISH SCHEDULE AND THE SPECIFICATIONS FOR LOCATIONS AND DESCRIPTION OF VARIOUS ACOUSTICAL CEILING TYPES.
3. REFERENCE DETAIL 2.12/ A-703 FOR TYPICAL SUSPENDED CEILING LAYOUT.
4. REFERENCE DETAIL 2.60/ A-703 FOR PERIMETER ANGLE ATTACHEMENT.
5. REFERENCE DETAIL 2.80/ A-703 FOR LIGHT FIXTURE ATTACHEMENT.
6. REFERENCE DETAIL 4.10 & 4.11/ A-703 FOR HANGER WIRE ATTACHEMENT.
7. ALL CEILING HEIGHTS MEASURED FROM FINISH FLOOR OF THEIR RESPECTIVE FLOOR.

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NEW REFLECTED  
CEILING PLAN

**A-702**



**IR 25-2**  
**SUSPENDED LAY-IN PANEL CEILING: 2019 CBC**

**1. CEILING SYSTEM GENERAL NOTES**

- Ceiling system components shall comply with ASTM C835 and Section 5.1 of ASTM E580.
- The ceiling grid system must be rated heavy duty as defined by ASTM C655.
- Ceiling systems. The following ceiling system(s) is/are part of the scope of this project:  
Manufacturer: **ARMSTRONG WORLD INDUSTRIES INC.**  
Product Name: **ICCES ES 1308**  
Evaluation Report Type and Number: **ARMSTRONG PRELUDE XL 15/16" ITEM NO.7301**  
Main Runner Part, Model, or Catalog Number: **ARMSTRONG PRELUDE XL 15/16" ITEM NO.7301**  
Cross Runner Part, Model, or Catalog Number: **ARMSTRONG PRELUDE 15/16" ITEM NO.7341**
- Seismic Wall Clip:  
Manufacturer's Model: **ARMSTRONG BERCT RETAINING CLIP**
- Ceiling panels shall not support any luminaires, air terminals or devices.
- For ceiling installations utilizing acoustical tile panels of mineral or glass fiber, it is not mandatory to provide 1/2" clearance between the acoustical tile panels and the wall on the sides of the ceiling which are free to slip. For all other ceiling panel types, provide 1/2" clearance between the ceiling panel and the wall on the sides of the ceiling free to slip. Clearance between ceiling grid runners/members and walls shall comply with the details on these drawings regardless of ceiling tile material.

**2. MATERIALS**

- Ceiling wire shall be Class 1 zinc coated (galvanized) carbon steel conforming to ASTM A641. Wire shall be #12 gauge (0.106" diameter) with soft temper and minimum ultimate tensile strength = 70 ksi.
- Galvanized sheet steel (including that used for metal stud and track compression struts/posts) shall conform to ASTM A653, or other equivalent sheet steel listed in Section A3.1 of the North American Specification for the Design of Cold-Formed Steel Structural Members, (AISI S100). Material 43 mil (18 gauge) and lighter shall have minimum yield strength of 33 ksi. Material 54 mil (16 gauge) and heavier shall have a minimum yield strength of 50 ksi.
- Electrical metallic tube (EMT) shall be ANSI C80.3JUL 797 carbon steel with G90 galvanizing. EMT shall have minimum yield strength (F<sub>y</sub>) of 30 ksi and minimum ultimate strength (F<sub>u</sub>) of 45 ksi.

**3. ATTACHMENT OF HANGER AND BRACING WIRES**

- Separate all ceiling hanger and bracing wires at least 6 inches from all unbraced ducts, pipes, conduit, etc.
- Hanger and bracing wires shall not attach to or bend around obstructions including but not limited to piping, ductwork, conduit and equipment.

Detail Title: **CEILING NOTES** REV: 09/21/2015 Detail No. 1.00  
REV: 03/2022

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**IR 25-2**  
**SUSPENDED LAY-IN PANEL CEILING: 2019 CBC**

- Hanger wires that are more than one (horizontal) or six (vertical) out of plumb shall have counter-sloping wires.
- Slack safety wires shall be considered hanger wires for installation and testing requirements.
- Hanger and bracing wire anchorage to the structure shall be installed in such a manner that the direction of the anchorage aligns closely with the direction of the wire (e.g., bracing wire ceiling clips must be bent as shown in the details and rotated as required to align closely with the direction of the wire, screw eyes in wood must be installed so they align closely with the direction of the wire, etc.).

**4. FASTENERS AND WELDING**

- Sheet metal screws shall comply with ASTM C1513 and ASME B18.6.3. Penetration of screws through joined material shall not be less than three exposed threads.
- Expansion anchors shall be: **NOT APPLICABLE**
- Power-Actuated Fasteners shall be: **NOT APPLICABLE**
- If not otherwise specified in the evaluation report, power-actuated fasteners installed in steel shall be installed so the entire pointed end of the fastener is driven through the steel member.
- Power-actuated fasteners in concrete or masonry are not permitted for bracing wires.
- Concrete reinforcement and prestressing tendons shall be located by non-destructive means prior to installing post-installed anchors.
- Welding shall be in accordance with AWS D1.3 using E60XX series electrodes.

**5. TESTING**

- All field testing must be performed in the presence of the project inspector.
- Post-installed anchors in concrete used to support hanger wires shall be tested at a frequency of 10 percent. Power-actuated fasteners in concrete shall be field tested for 200 pounds in tension. All other post-installed anchors in concrete shall be tested in accordance with CBC Section 1910A.5.
- Post-installed anchors in concrete used to attach bracing wires shall be tested at a frequency of 50 percent in accordance with CBC Section 1910A.5.

**6. LUMINAIRES**

- All luminaires shall be positively attached to the ceiling suspension systems by mechanical means to resist a horizontal force equal to the weight of the luminaire. A minimum of two screws or approved fasteners are required at each luminaire, per ASTM E580 Section 5.3.1.
- Surface-mounted luminaires shall be attached to the main runner with at least two positive-clamping devices. The clamping device shall completely surround the supporting

Detail Title: **CEILING NOTES** REV: 09/21/2015 Detail No. 1.00  
REV: 03/2022

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**IR 25-2**  
**SUSPENDED LAY-IN PANEL CEILING: 2019 CBC**

ceiling runner and be made of steel with a minimum thickness of #14 gauge. Rotational spring catches do not comply. A #12 gauge slack safety wire shall be connected from each clamping device to the structure above. Provide additional supports when a luminaire is 8 feet or longer or exceeds 56 pounds. Maximum spacing between supports shall not exceed 8 feet.

- Luminaires weighing less than or equal to 10 pounds may be supported directly on the ceiling runners, shall have a minimum of one #12 gauge slack safety wire connected from the future housing to the structure above.
- Luminaires weighing greater than 10 pounds but less than or equal to 56 pounds may be supported directly on the ceiling runners, but they shall have a minimum of two #12 gauge slack safety wires connected from the future housing at diagonal corners to the structure above.  
**Exception:** All luminaires greater than two by four feet weighing less than 56 pounds shall have a #12 gauge slack safety wire at each corner.
- All luminaires weighing greater than 56 pounds shall be independently supported by not less than four #12 gauge hanger wires (one at each corner) attached from the future housing to the structure above or other approved hangers. The four #12 gauge hanger wires or other approved hangers, including their attachment to the structure above, shall be capable of supporting four times the weight of the fixture.

**7. SERVICES WITHIN THE CEILING**

- All flexible sprinkler hose fitting mounting brackets, ceiling-mounted air terminals or other services shall be positively attached to the ceiling suspension systems by mechanical means. Screws or approved fasteners are required. A minimum of two attachments are required at each component.
- Ceiling-mounted air terminals or other services weighing less than or equal to 20 pounds shall have one #12 gauge slack safety wire attached from the terminal or service to the structure above.
- Flexible sprinkler hose fittings, ceiling-mounted air terminals or other services weighing more than 20 pounds but less than or equal to 56 pounds shall have two #12 gauge slack safety wires (at diagonal corners) connected from the terminal or service to the structure above.
- Flexible sprinkler hose fittings, ceiling-mounted air terminals or other services weighing more than 56 pounds shall be supported directly from the structure above or other approved hangers.

**8. OTHER DEVICES WITHIN THE CEILING**

- All lightweight miscellaneous devices, such as strobe lights, occupancy sensors, speakers, exit signs, etc., shall be attached to the ceiling grid. In addition, devices weighing more than 10 pounds shall have a #12 gauge slack safety wire anchored to the structure above. Devices weighing more than 20 pounds shall be supported independently from the structure above.

Detail Title: **CEILING NOTES** REV: 09/21/2015 Detail No. 1.00  
REV: 03/2022

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**IR 25-2**  
**SUSPENDED LAY-IN PANEL CEILING: 2019 CBC**

Detail Title: **TYP. CEILING PLAN FOR 12'-0"x12'-0" BRACE ASSEMBLY SPACING** REV: 09/21/2015 Detail No. 2.12  
REV: 03/2022

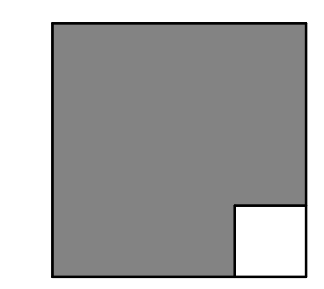
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**IR 25-2**  
**SUSPENDED LAY-IN PANEL CEILING: 2019 CBC**

Detail Title: **SUSPENSION AND LATERAL BRACING ASSEMBLY** REV: 09/21/2015 Detail No. 2.35  
REV: 03/10/2017  
REV: 03/2022

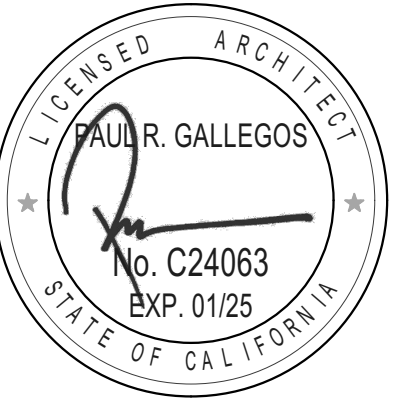
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Detail Title: **CEILING PERIMETER** REV: 09/21/2015 Detail No. 2.60  
REV: 03/10/2017  
REV: 03/2022

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**IR 25-2**  
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Detail Title: **LUMINAIRE / AIR TERMINAL SUPPORT** REV: 09/21/2015 Detail No. 2.80  
REV: 02/10/2016  
REV: 03/2022

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**IR 25-2**  
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Detail Title: **COMPRESSION STRUT - CHANNEL TYPE** REV: 09/21/2015 Detail No. 3.10  
REV: 03/2022

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**IR 25-2**  
**SUSPENDED LAY-IN PANEL CEILING: 2019 CBC**

Detail Title: **COMPRESSION STRUT - EMT TYPE** REV: 09/21/2015 Detail No. 3.20  
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**IR 25-2**  
**SUSPENDED LAY-IN PANEL CEILING: 2019 CBC**

EMT SECTION	MAXIMUM LENGTH	COMPRESSION STRUT CHANNEL SECTION	MAXIMUM LENGTH
1/2" DIAMETER EMT (0.042" WALL THICKNESS)	3' - 11"	250S125-33	5' - 10"
3/4" DIAMETER EMT (0.049" WALL THICKNESS)	6' - 4"	250S137-33	6' - 10"
1" DIAMETER EMT (0.057" WALL THICKNESS)	9' - 0"	362S137-33	8' - 0"
1 1/4" DIAMETER EMT (0.068" WALL THICKNESS)	12' - 9"	250S137-43	8' - 10"
1 1/2" DIAMETER EMT (0.068" WALL THICKNESS)	14' - 9"	400S137-43	10' - 10"
2" DIAMETER EMT (0.068" WALL THICKNESS)	18' - 10"		

Detail Title: **COMPRESSION STRUT TABLE** REV: 09/21/2015 Detail No. 3.21  
REV: 03/10/2017  
REV: 03/2022

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**IR 25-2**  
**SUSPENDED LAY-IN PANEL CEILING: 2019 CBC**

Detail Title: **HANGER AND BRACE WIRE CONNECTION - TYP. WIRE TURNS** REV: 09/21/2015 Detail No. 4.10  
REV: 03/2022

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**IR 25-2**  
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STRUCTURAL SYSTEM OF FLOOR/ ROOF ABOVE SUSPENDED CEILING	APPLICABLE HANGER WIRE DETAIL	APPLICABLE BRACE WIRE DETAIL
SAWN TIMBER	4.25 & 4.29	4.35
WOOD CHORD TRUSS	4.27 & 4.29	4.38 & 4.29

Detail Title: **HANGER AND BRACE WIRE CONNECTION TABLE** REV: 09/21/2015 Detail No. 4.11  
REV: 03/2022

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**IR 25-2**  
**SUSPENDED LAY-IN PANEL CEILING: 2019 CBC**

Detail Title: **HANGER WIRE CONNECTION TO SAWN TIMBER** REV: 09/21/2015 Detail No. 4.25  
REV: 03/2022

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**IR 25-2**  
**SUSPENDED LAY-IN PANEL CEILING: 2019 CBC**

Detail Title: **HANGER WIRE CONNECTION TO WOOD CHORD TRUSS** REV: 09/21/2015 Detail No. 4.27  
REV: 03/2022

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**IR 25-2**  
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Detail Title: **TYPICAL SADDLE TIE DETAIL** REV: 09/21/2015 Detail No. 4.29  
REV: 03/2022

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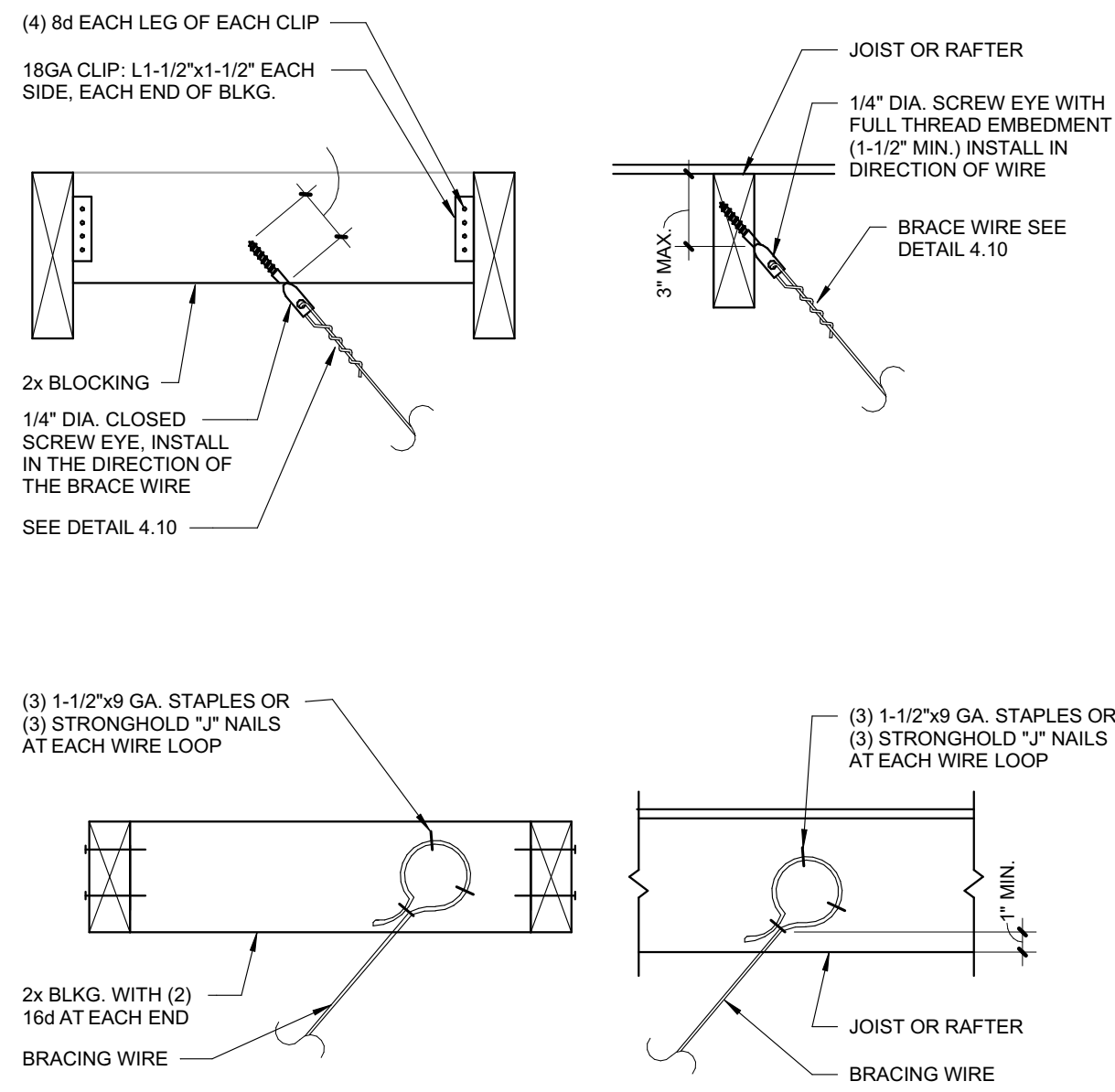
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PLOT DATE:  
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SHEET TITLE

RCP DETAILS

A-703

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SUSPENDED LAY-IN PANEL CEILING: 2019 CBC



Detail Title:	REV: 09/21/2015	Detail No.
<b>BRACE WIRE CONNECTION TO SAWN TIMBER</b>	REV: 03/2022	<b>4.35</b>

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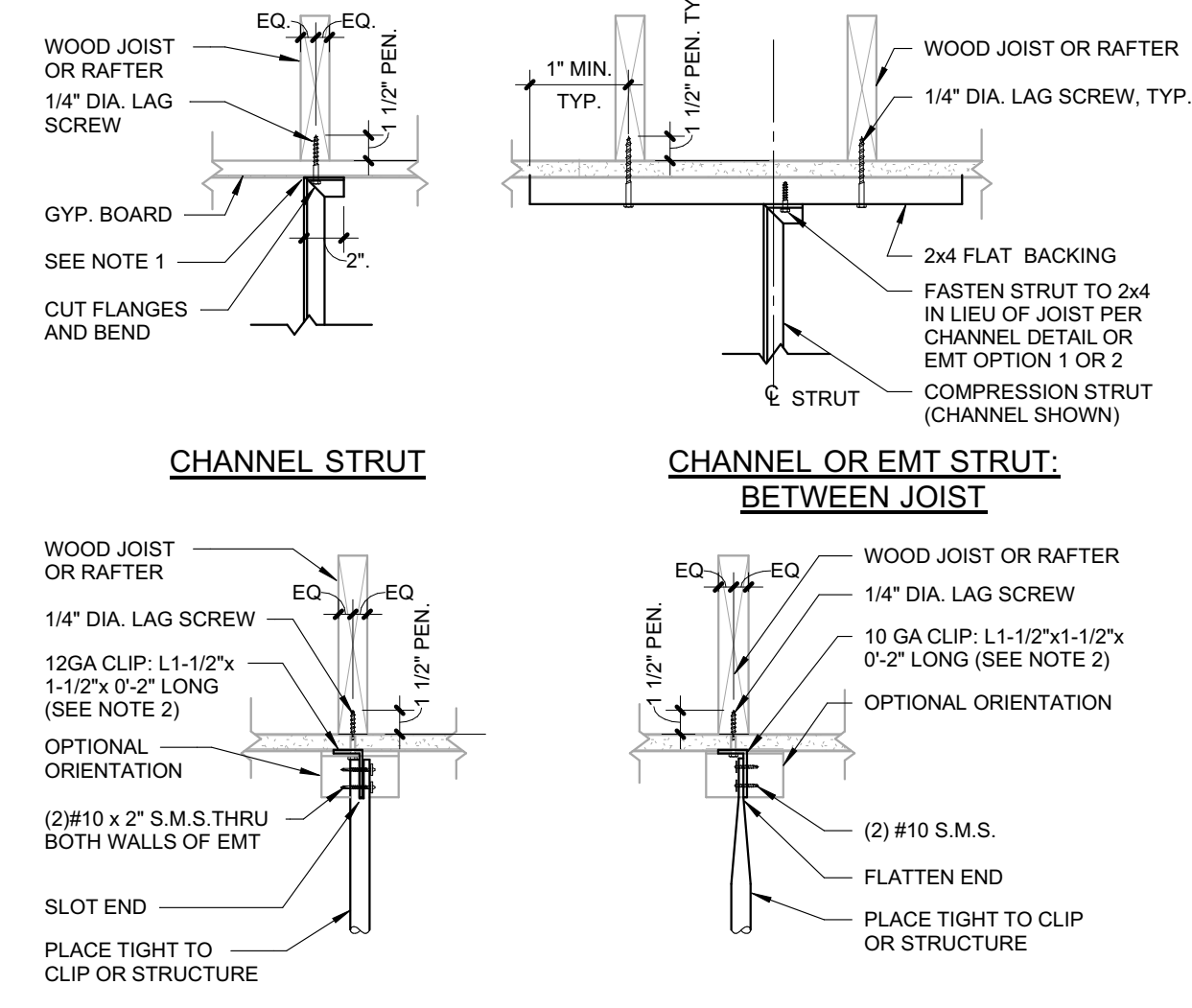
IR 25-2  
SUSPENDED LAY-IN PANEL CEILING: 2019 CBC

STRUCTURAL SYSTEM OF FLOOR/ROOF ABOVE SUSPENDED CEILING	APPLICABLE DETAIL
SAWN TIMBER WITH GYPSUM BOARD	5.50
SAWN TIMBER WITHOUT GYPSUM BOARD	5.51

Detail Title:	REV: 09/21/2015	Detail No.
<b>COMPRESSION STRUT CONNECTION TABLE</b>	REV: 03/2022	<b>5.10</b>

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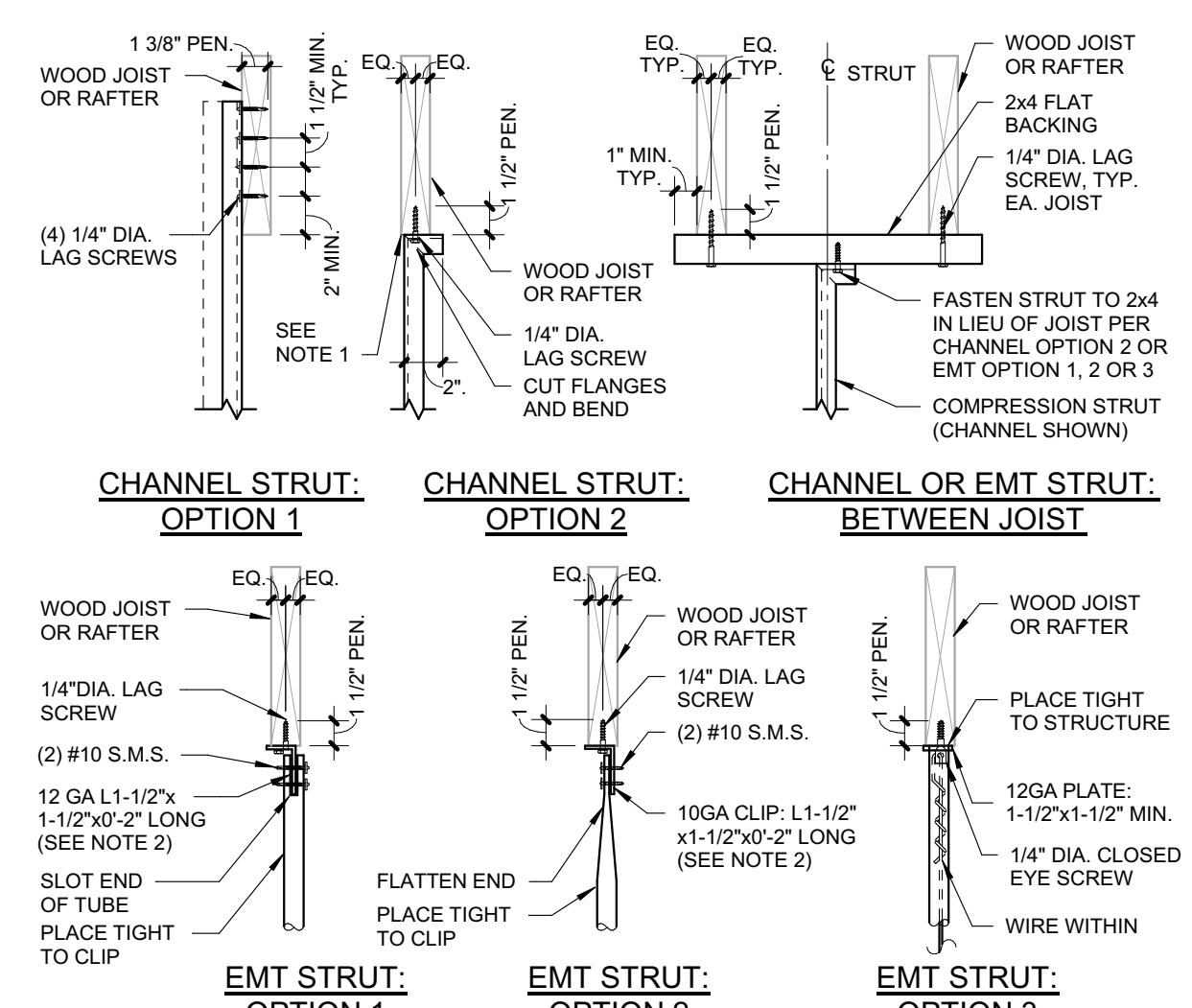
IR 25-2  
SUSPENDED LAY-IN PANEL CEILING: 2019 CBC



Detail Title:	REV: 09/21/2015	Detail No.
<b>STRUT CONNECTION TO SAWN TIMBER WITH GYPSUM BOARD</b>	REV: 03/2022	<b>5.50</b>

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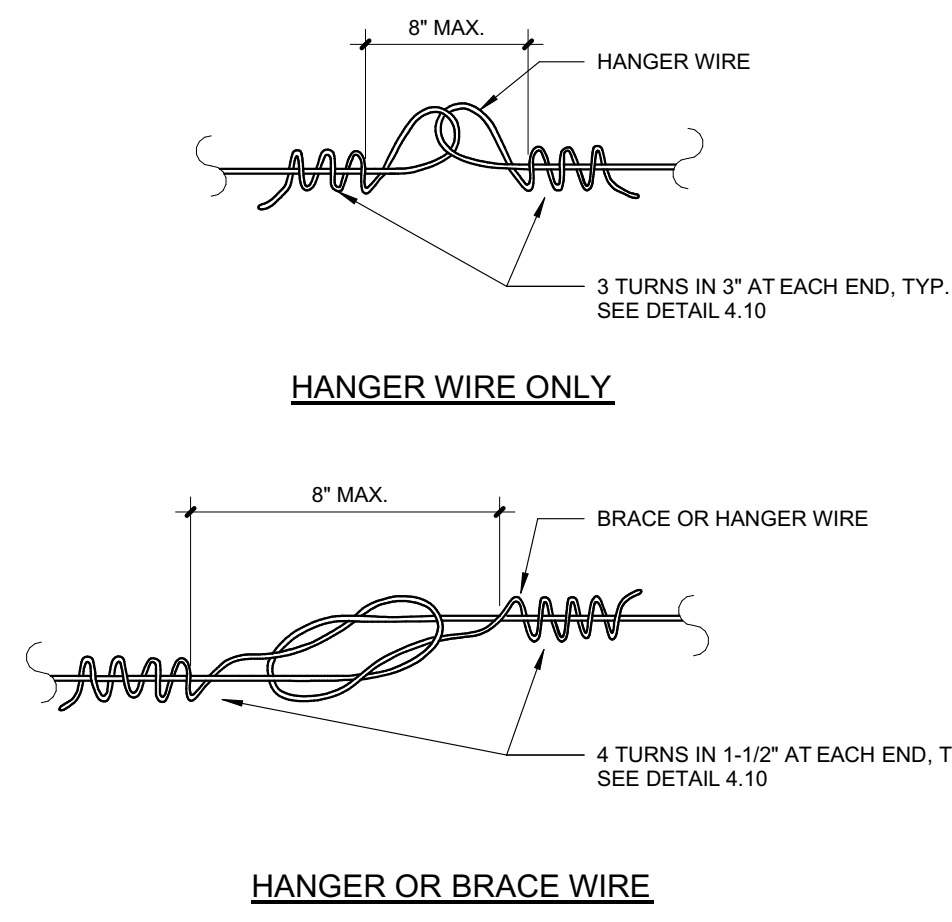
IR 25-2  
SUSPENDED LAY-IN PANEL CEILING: 2019 CBC



Detail Title:	REV: 09/21/2015	Detail No.
<b>STRUT CONNECTION TO SAWN TIMBER WITHOUT GYPSUM BOARD</b>	REV: 03/2022	<b>5.51</b>

IR 25-2 (Revised 03/18/22) DIVISION OF THE STATE ARCHITECT DEPARTMENT OF GENERAL SERVICES STATE OF CALIFORNIA Page 65 of 71

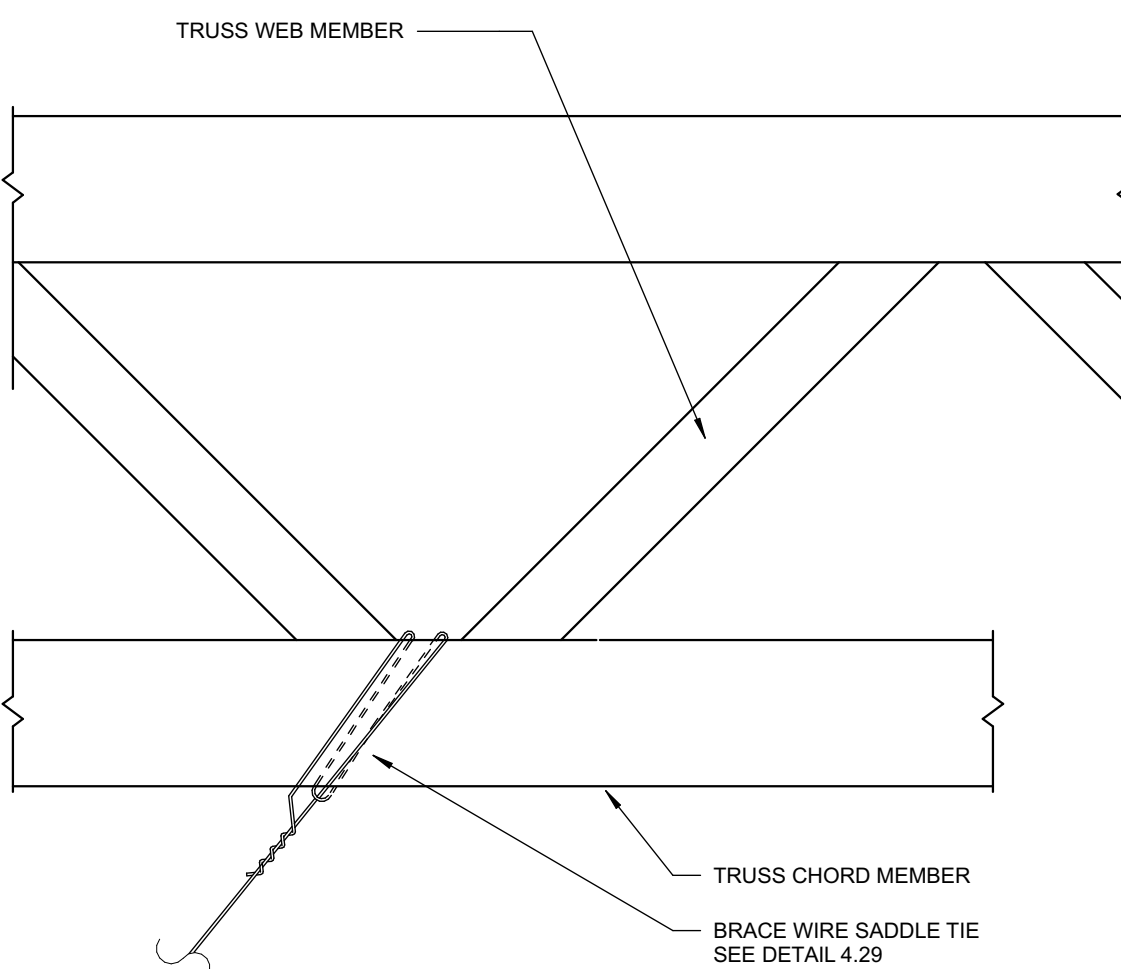
IR 25-2  
SUSPENDED LAY-IN PANEL CEILING: 2019 CBC



Detail Title:	REV: 09/21/2015	Detail No.
<b>CEILING WIRE SPLICES</b>	REV: 03/2022	<b>6.10</b>

IR 25-2 (Revised 03/18/22) DIVISION OF THE STATE ARCHITECT DEPARTMENT OF GENERAL SERVICES STATE OF CALIFORNIA Page 67 of 71

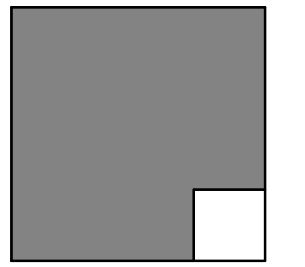
IR 25-2  
SUSPENDED LAY-IN PANEL CEILING: 2019 CBC



Detail Title:	REV: 09/21/2015	Detail No.
<b>BRACE WIRE CONNECTION TO WOOD CHORD TRUSS</b>	REV: 03/2022	<b>4.38</b>

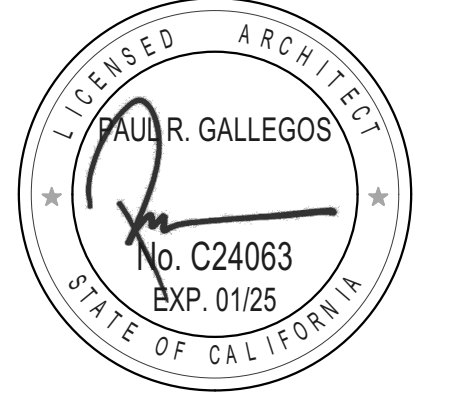
IR 25-2 (Revised 03/18/22) DIVISION OF THE STATE ARCHITECT DEPARTMENT OF GENERAL SERVICES STATE OF CALIFORNIA Page 56 of 71

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MARK	DATE	DESCRIPTION

PROJECT NO: 23-027  
MODEL FILE:  
23-027 MEUSD Descanso ES\_DRAFT\_23-10-11.pln

PLOT DATE:  
10/24/2023

SHEET TITLE

RCP DETAILS

A-704



FINISH SCHEDULE									
ROOM		FLOOR	BASE	WALLS				CEILING	
NAME	NUMBER			ELEV. 1	ELEV. 2	ELEV. 3	ELEV. 4	MAT	HEIGHT
ENTRY	101	F1	B1	FN1	FN1	FN1	FN1	2x4 ACOUSTICAL	9'-6"
HALL	102	F1	B1	FN1	FN1	FN1	FN1	2x4 ACOUSTICAL	9'-6"
ADMIN	103	F1	B1	FN1	FN1	FN1	FN1	2x4 ACOUSTICAL	10'-9"
HEALTH	104	F1	B1	FN1	FN1	FN1	FN1	2x4 ACOUSTICAL	10'-9"
OFFICE	105	F1	B1	FN1	FN1	FN1	FN1	2x4 ACOUSTICAL	10'-9"
OFFICE	106	F1	B1	FN1	FN1	FN1	FN1	2x4 ACOUSTICAL	10'-9"
OFFICE	107	F1	B1	FN1	FN1	FN1	FN1	2x4 ACOUSTICAL	10'-9"
STORAGE	108	F1	B1	FN1	FN1	FN1	FN1	2x4 ACOUSTICAL	10'-9"

ROOM FINISH LEGEND					
FLOOR	F1	NEWCARPET - DISTRICT STANDARD	W1	GYPSUM DRYWALL - 5/8"	
	F2	DISTRICT STANDARD EXISTING FLOORING			
CEILING	C1	ACOUSTICAL TILE CEILING (2X4)	BASE	B1	4" RUBBER WALL BASE - DISTRICT STANDARD
	FN1	PAINTED - DISTRICT STANDARD			

**1 FINISH SCHEDULE**  
SCALE: 1" = 1'-0"

DOOR SCHEDULE															
ROOM NUMBER	ROOM NAME	DOOR ID	DOOR TYPE	NOMINAL WIDTH	NOMINAL HEIGHT	LEAF THICKNESS	DOOR MATERIAL	DOOR FRAME MATERIAL	DETAIL		HDWR. SET	FIRE	PANIC HARDWARE	SECURITY HARDWARE	REMARKS
									HEAD	JAMB					
101	ENTRY	D102	B	6'-0"	6'-8"	1-3/4"	SC WOOD	HM	4 / A-204	3 / A-204	2	Unrated	YES	YES	
101	ENTRY	D101	A	3'-0"	6'-8"	1-3/4"	HM	HM	2 / A-204	1 / A-204	1	Unrated	YES	YES	
102	HALL	D103	C	(E) 3'-0"	(E) 6'-8"	(EXIST.) 1-3/4"	SC WOOD	HM	4 / A-204	3 / A-204	EXIST.	Unrated	N/A	N/A	EXIST. DOOR, FRAME, AND HARDWARE TO REMAIN
103	ADMIN	D108	C	(E) 3'-0"	(E) 6'-8"	(EXIST.) 1-3/4"	HM	HM	2 / A-204	1 / A-204	EXIST.	Unrated	N/A	N/A	EXIST. DOOR, FRAME, AND HARDWARE TO REMAIN
105	OFFICE	D104	C	3'-0"	6'-8"	1-3/4"	SC WOOD	HM	4 / A-204	3 / A-204	3	Unrated	NO	NO	
105	OFFICE	D105	C	3'-0"	6'-8"	1-3/4"	SC WOOD	HM	4 / A-204	3 / A-204	3	Unrated	NO	NO	
106	OFFICE	D106	C	3'-0"	6'-8"	1-3/4"	SC WOOD	HM	4 / A-204	3 / A-204	3	Unrated	NO	NO	
107	OFFICE	D107	C	3'-0"	6'-8"	1-3/4"	SC WOOD	HM	4 / A-204	3 / A-204	3	Unrated	N	NO	

**2 DOOR SCHEDULE**  
SCALE: 1" = 1'-0"

DOOR LEGEND								
View from Opening Side								
Element ID	D101	D102	D103	D104	D105	D106	D107	D108
Door Type	A	B	C	C	C	C	C	C
Quantity	1	1	1	1	1	1	1	1

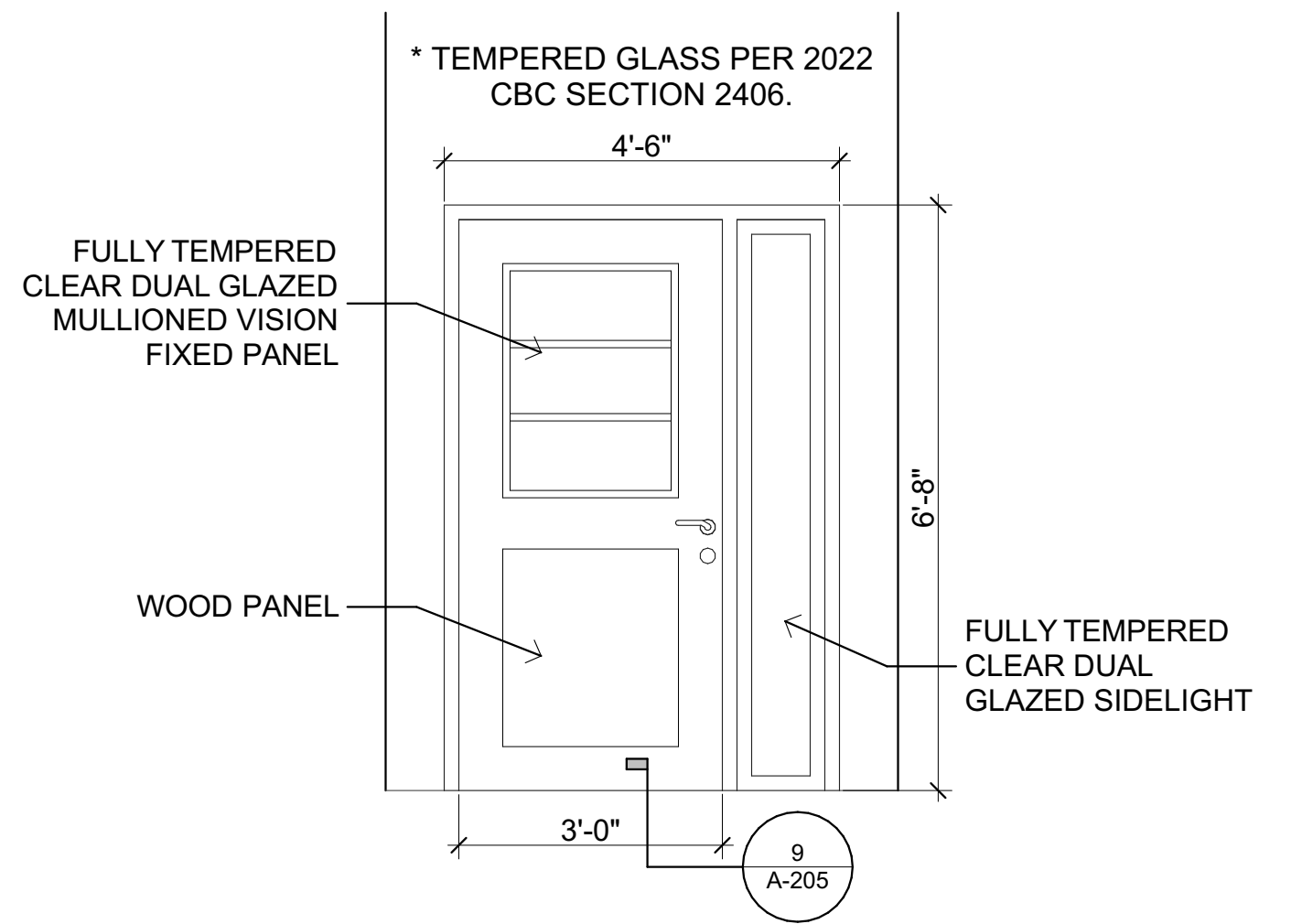
**3 DOOR LEGEND**  
SCALE: 1" = 1'-0"

GENERAL DOOR NOTES

- "LABEL" SHALL MEAN "FIRE DOOR ASSEMBLY" AS DEFINED IN 2022 C.B.C., SECTION 716.5. FIRE DOORS SHALL BE LABELED IN ACCORDANCE WITH CBC SECTION 716.5.7. FIRE DOOR FRAMES SHALL BE LABELED IN ACCORDANCE WITH CBC SECTION 716.5.7.
- ALL RATED DOORS TO BE POSITIVE LATCHING.
- ALL EXTERIOR DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF SPECIAL TOOLS, KNOWLEDGE, OR EFFORT.
- HARDWARE SHALL BE LEVER TYPE WITH A RETURN TO WITHIN 1/2" OF THE DOOR.
- THE ARCHITECT AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING REQUIRED DOOR AND FRAME DIMENSIONS AND HARDWARE MOUNTING HEIGHTS IN FIELD PRIOR TO ORDERING AND INSTALLING NEW MATERIAL.
- ALL HARDWARE INDICATED IN SCHEDULE SHALL BE PROVIDED FOR DOORS. HARDWARE SHALL MEET THE REQUIREMENTS OF CBC 11B-404.2.7.
- DOOR JAMB AND HEAD CONDITIONS ARE DETAILED FOR THE MOST TYPICAL CONDITION. SIMILAR CONDITIONS MAY OCCUR AND SHALL BE TREATED IN A SIMILAR MANNER.
- DOORS/DOORWAYS AS PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH CBC SECTIONS 11B-404.
- THE CLEAR OPENING WIDTH FOR A DOOR SHALL BE 32" MINIMUM. FOR A SWINGING DOOR IT SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES. THERE SHALL BE NO PROJECTIONS INTO IT BELOW 34" AND 4" MAXIMUM PROJECTIONS INTO IT BETWEEN 34" AND 80" ABOVE THE FINISH FLOOR OR GROUND. CBC SECTION 11B-404.2.3
- HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL COMPLY WITH CBC SECTION 11B-309.4 AND SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34" MINIMUM AND 44" MAXIMUM ABOVE FINISH FLOOR OR GROUND. WHERE SLIDING DOORS ARE IN THE FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. CBC SECTION 11B-404.2.7
- THE FORCE FOR PUSHING OR PULLING OPEN A DOOR SHALL BE AS FOLLOWS: CBC SECTION 11B-404.2.9
  - INTERIOR HINGED DOORS, SLIDING OR FOLDING DOORS, AND EXTERIOR HINGED DOORS: 5 POUNDS (22.2 N) MAXIMUM. REQUIRED FIRE DOORS: THE MINIMUM OPENING FORCE ALLOWABLE BY THE DSA AUTHORITY, NOT TO EXCEED 15 POUNDS (66.7 N). THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGED OTHER DEVICES THAT HOLD THE DOOR IN A CLOSED POSITION.
  - THE FORCE REQUIRED FOR ACTIVATING ANY OPERABLE PARTS, SUCH AS LEVER HARDWARE, OR DISENGAGING OTHER DEVICES SHALL BE 5 POUNDS (22.2 N) MAXIMUM TO COMPLY WITH CBC SECTION 11B-309.4
- DOOR CLOSING SPEED SHALL BE AS FOLLOWS: CBC SECTION 11B-404.2.8
  - CLOSER SHALL BE ADJUSTED SO THAT THE REQUIRED TIME TO MOVE A DOOR FROM AN OPEN POSITION OF 90 DEGREES TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM.
  - SPRING HINGES SHALL BE ADJUSTED SO THAT THE REQUIRED TIME TO MOVE A DOOR FROM AN OPEN POSITION OF 70 DEGREES TO THE CLOSED POSITION IS 1.5 SECONDS MINIMUM.
- THRESHOLDS SHALL COMPLY WITH CBC SECTION 11B-404.2.5
- FLOOR STOPS SHALL NOT BE LOCATED IN THE PATH OF TRAVEL AND 4" MAXIMUM FROM WALLS.
- ALL EMERGENCY EXIT AND PANIC HARDWARE SHALL COMPLY WITH SFM STANDARD 12-10-3, SECTION 12-10-302. 1) THE CROSS-BAR SHALL EXTEND ACROSS NOT LESS THAN ONE-HALF THE WIDTH OF THE DOOR/GATE AND 2) THE ENDS OF THE CROSS-BAR SHALL BE CURVED, GUARDED, OR OTHERWISE DESIGNED TO PREVENT CATCHING ON THE CLOTHING OF PERSONS DURING EGRESS.
- EXIT AND EXIT ACCESS DOORS FROM ROOMS HAVING AN OCCUPANT LOAD OF 50 OR MORE AND FROM CORRIDORS SHALL NOT BE PROVIDED WITH A LATCH OR LOCK UNLESS IT IS PANIC OR FIRE EXIT HARDWARE PER CBC 1010.1.10.

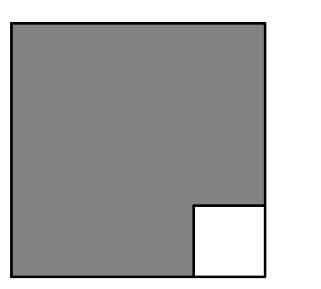
WINDOW LEGEND				
WINDOW ELEVATION	WINDOW ID	QUANTITY	NOMINAL SIZE (W X H)	REMARKS
	W101	1	4'-0" x 4'-0"	1/4" TEMP. GLASS
	W102	1	4'-0" x 4'-0"	1/4" TEMP. GLASS

**4 WINDOW TYPES LEGEND**  
SCALE: 1" = 1'-0"



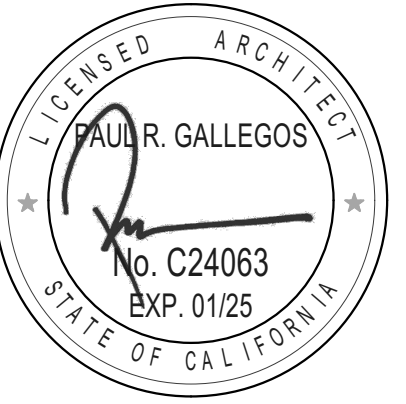
**5 TYPE A DOOR ELEVATION**  
SCALE: 1/2" = 1'-0"

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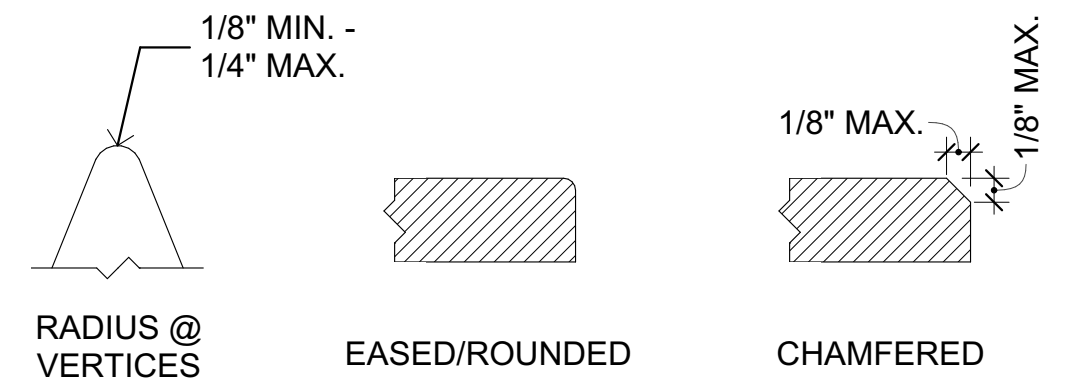
PLOT DATE:  
10/24/2023

SHEET TITLE

DOOR, WINDOW, FINISH SCHEDULES

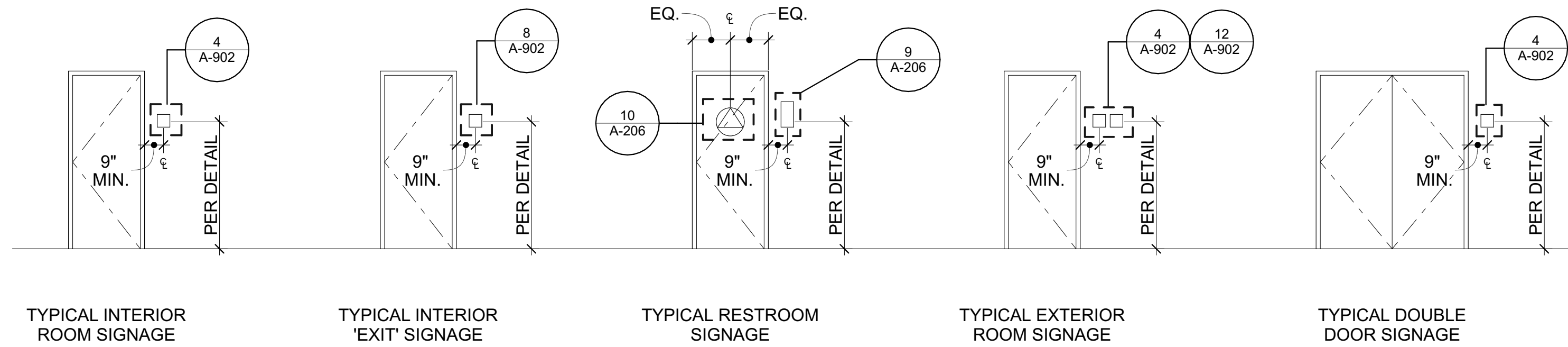
A-901





NOTE: PER 11B-703.7.2.6.4 EDGES AND VERTICES ON GEOMETRIC SYMBOLS, EDGES SHALL BE EASED OR ROUNDED AT 1/16\"/>

**13 SIGNAGE EDGES AND VERTICES**  
SCALE: 1" = 1'-0"



**1 SIGNAGE ELEVATIONS**  
SCALE: 1/4" = 1'-0"

**11B-703 REQUIREMENTS FOR RAISED CHARACTERS, BRAILLE AND VISUAL CHARACTERS:**

- RAISED CHARACTERS SHALL COMPLY WITH CBC SECTION 11B-703.2:
- CHARACTERS SHALL BE RAISED 1/32 INCH (0.8 MM) MINIMUM ABOVE THEIR BACKGROUND. SHALL BE SANS SERIF UPPERCASE LETTERS, AND SHALL BE DUPLICATED IN BRAILLE.
- CHARACTER HEIGHT SHALL BE 5/8 INCH (15.9 MM) MINIMUM AND 2 INCHES (51 MM) MAXIMUM BASED ON THE HEIGHT OF THE UPPERCASE LETTER "I". CBC SECTION 11B-703.2.5
- CHARACTERS AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH. CHARACTER SHALL CONTRAST WITH THEIR BACKGROUND WITH EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND. CBC SECTION 11B-703.5.1
- PROPORTIONS FOR RAISED CHARACTERS SHALL BE SELECTED FROM FONTS WHERE THE WIDTH OF THE UPPERCASE LETTER "O" IS 60% MINIMUM AND 110% MAXIMUM OF THE HEIGHT OF THE UPPERCASE LETTER "I". STROKE THICKNESS OF THE UPPERCASE LETTER "I" SHALL BE 15% MAXIMUM OF THE HEIGHT OF THE CHARACTER. CBC SECTIONS 11B-703.2.4 AND 11B-703.2.6
- CHARACTER SPACING BETWEEN INDIVIDUAL RAISED CHARACTERS SHALL COMPLY WITH CBC SECTION 11B-703.2.7 AND 11B-703.2.8
- LINE SPACING: SPACING BETWEEN THE BASELINES OF SEPARATE LINES OF RAISED CHARACTERS WITHIN A MESSAGE SHALL BE 135 PERCENT MIN. AND 170 PERCENT MAX. OF THE RAISED CHARACTER HEIGHT.
- TEXT SHALL BE IN A HORIZONTAL FORMAT. CBC SECTION 11B-703.2.9

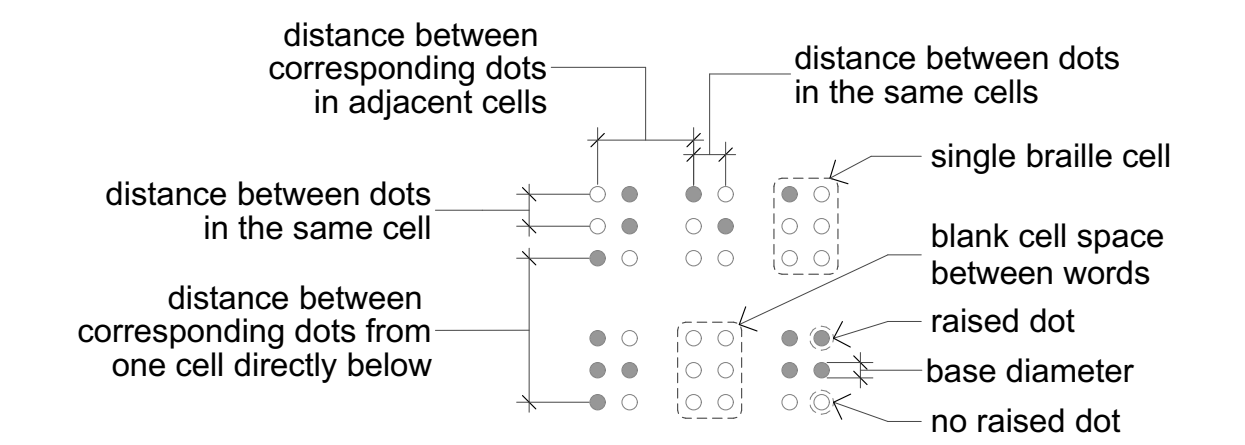
- BRAILLE:**
- BRAILLE SHALL BE CONTRACTED (GRADE 2) AND SHALL COMPLY WITH CBC SECTIONS 11B-703.3 AND 11B-703.4. BRAILLE DOTS SHALL HAVE A DOMED OR ROUNDED SHAPE AND SHALL COMPLY WITH CBC TABLE AND FIGURE 11B-703.3.1. THE INDICATION OF AN UPPERCASE LETTER SHALL ONLY BE USED BEFORE THE FIRST WORD OF SENTENCES, PROPER NOUNS AND NAMES, INDIVIDUAL LETTERS OF THE ALPHABET, INITIALS, AND ACRONYMS.
  - 11B-703.3.2 POSITION, BRAILLE SHALL BE POSITIONED BELOW THE CORRESPONDING TEXT IN A HORIZONTAL FORMAT. FLUSH LEFT OR CENTERED. IF TEXT IS MULTI-LINED, BRAILLE SHALL BE PLACED BELOW THE ENTIRE TEXT. BRAILLE SHALL BE SEPARATED 3/8" MIN. AND 1/2" MAX. FROM ANY OTHER TACTILE CHARACTERS AND 3/8" MIN. FROM RAISED BORDERS AND DECORATIVE ELEMENTS.

- TACTILE:**
- TACTILE CHARACTERS ON SIGNS SHALL BE LOCATED 48" MINIMUM TO THE BASELINE OF THE LOWEST BRAILLE CELLS AND 60" MAXIMUM TO THE BASELINE OF THE HIGHEST LINE OF RAISED CHARACTERS ABOVE THE FINISH FLOOR OR GROUND SURFACE. CBC SECTION AND FIGURE 11B-703.4.1
  - TACTILE SIGNS SHALL BE LOCATED PER CBC SECTION AND FIGURE 11B-703.4.2 AS FOLLOWS:
    - ALONGSIDE A SINGLE DOOR AT THE LATCH SIDE.
    - ON THE INACTIVE LEAF AT DOUBLE DOORS WITH ONE ACTIVE LEAF.
    - TO THE RIGHT OF THE RIGHT HAND DOOR AT DOUBLE DOORS WITH TWO ACTIVE LEAFS.
    - ON THE NEAREST ADJACENT WALL WHERE THERE IS NO WALL SPACE AT THE LATCH SIDE OF A SINGLE DOOR OR AT THE RIGHT SIDE OF DOUBLE DOORS WITH TWO ACTIVE LEAFS.
    - SO THAT A CLEAR FLOOR SPACE OF 18" X18" MINIMUM, CENTERED ON THE TACTILE CHARACTERS, IS PROVIDED BEYOND THE ARC OF ANY DOOR SWING BETWEEN THE CLOSED POSITION AND 45 DEGREE OPEN POSITION.

**11 BRAILLE & CHARACTER REQUIREMENTS**  
SCALE: 1" = 1'-0"

- VISUAL CHARACTERS:**
- VISUAL CHARACTERS SHALL COMPLY WITH CBC SECTION 11B-703.5 AND SHALL BE 40" MINIMUM ABOVE FINISH FLOOR OR GROUND. CHARACTER HEIGHT SHALL BE DETERMINED BASED UPON HEIGHT ABOVE GROUND AND HORIZONTAL VIEWING DISTANCE PER CBC TABLE 11B-703.5.5
  - CHARACTER SPACING SHALL BE MEASURED BETWEEN THE TWO CLOSEST POINTS OF ADJACENT CHARACTERS, EXCLUDING WORD SPACES. SPACING BETWEEN INDIVIDUAL CHARACTERS SHALL BE 10 PERCENT MINIMUM AND 35 PERCENT MAXIMUM OF CHARACTER HEIGHT. 11B-703.5.8 CHARACTER SPACING
  - SPACING BETWEEN THE BASELINES OF SEPARATE LINES OF CHARACTERS WITHIN A MESSAGE SHALL BE 135 PERCENT MINIMUM AND 170 PERCENT MAXIMUM OF THE CHARACTER HEIGHT. 11B-703.5.9 LINE SPACING
  - PROPORTIONS FOR VISUAL CHARACTERS SHALL BE SELECTED FROM FONTS WHERE THE WIDTH OF THE UPPERCASE LETTER "O" IS 60% MINIMUM AND 110% MAXIMUM OF THE HEIGHT OF THE UPPERCASE LETTER "I". STROKE THICKNESS SHALL BE 10% MINIMUM AND 20% MAXIMUM OF THE HEIGHT OF THE CHARACTER. CBC SECTIONS 11B-703.5.4 AND 11B-703.5.7
  - PICTOGRAMS SHALL COMPLY WITH CBC SECTION 11B-703.6.
  - SYMBOLS OF ACCESSIBILITY SHALL COMPLY WITH CBC SECTION 11B-703.7.
  - VARIABLE MESSAGE SIGNS SHALL COMPLY WITH CBC SECTION 11B-703.8.

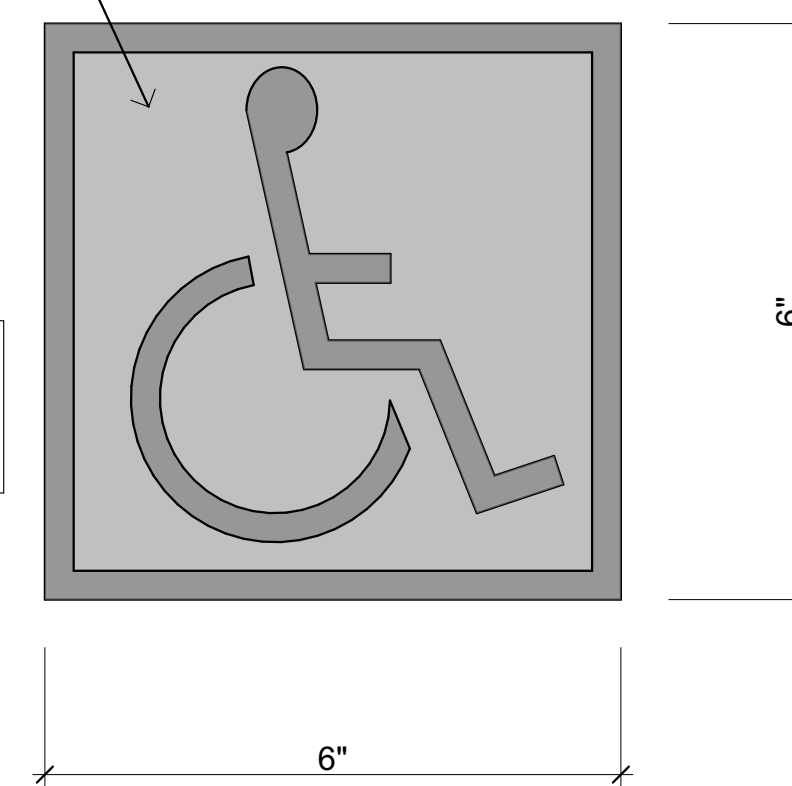
MEASUREMENT RANGE	MINIMUM IN INCHES MAXIMUM IN INCHES
DOT BASE DIAMETER	0.059 (1.5 mm) to 0.065 (1.6 mm)
DISTANCE BETWEEN TWO DOTS IN THE SAME CELL <sup>1</sup>	0.100 (2.5 mm)
DISTANCE BETWEEN CORRESPONDING DOTS IN ADJACENT CELLS <sup>1</sup>	0.300 (7.6 mm)
DOT HEIGHT	0.025 (0.6 mm) to 0.037 (0.9 mm)
DISTANCE BETWEEN CORRESPONDING DOTS FROM ONE CELL DIRECTLY BELOW <sup>1</sup>	0.395 (10 mm) to 0.400 (10.2 mm)



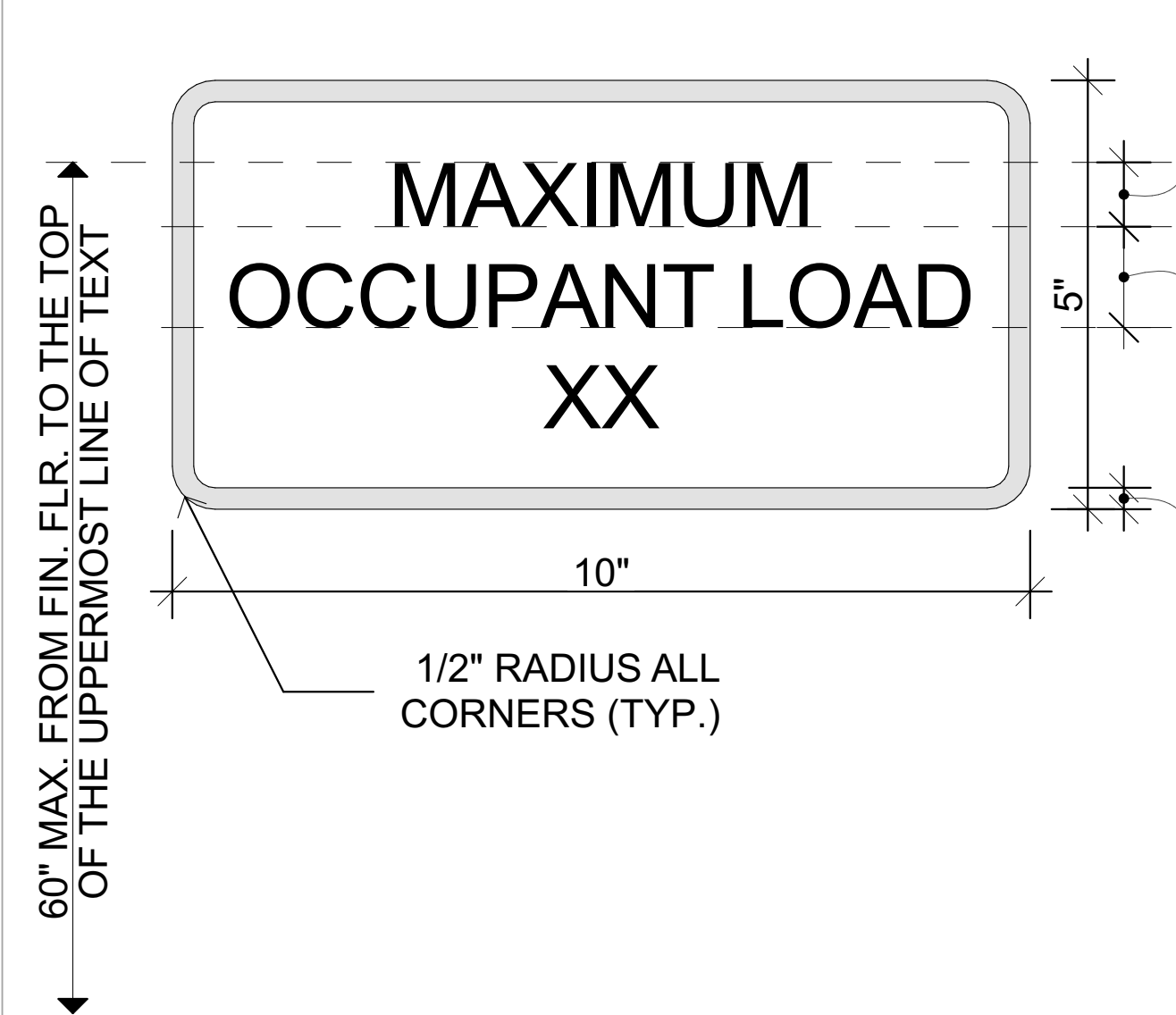
REQUIRED ROUNDED OR DOMED CONTRACTED CALIFORNIA BRAILLE (GRADE 2) DOTS. EACH DISTINCT AND SEPARATE. DOTS WITH STRAIGHT SIDES AND FLAT TOPS ARE NOT READABLE FOR MANY BRAILLE USERS. SQUARE DOT NOT ACCEPTABLE.

INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL CONSIST OF WHITE FIGURE ON A BLUE BACKGROUND. THE BLUE COLOR SHALL BE EQUAL TO COLOR #15090 IN FED. STANDARD 595C. REFER TO PLANS FOR LOCATION OF I.S.A.

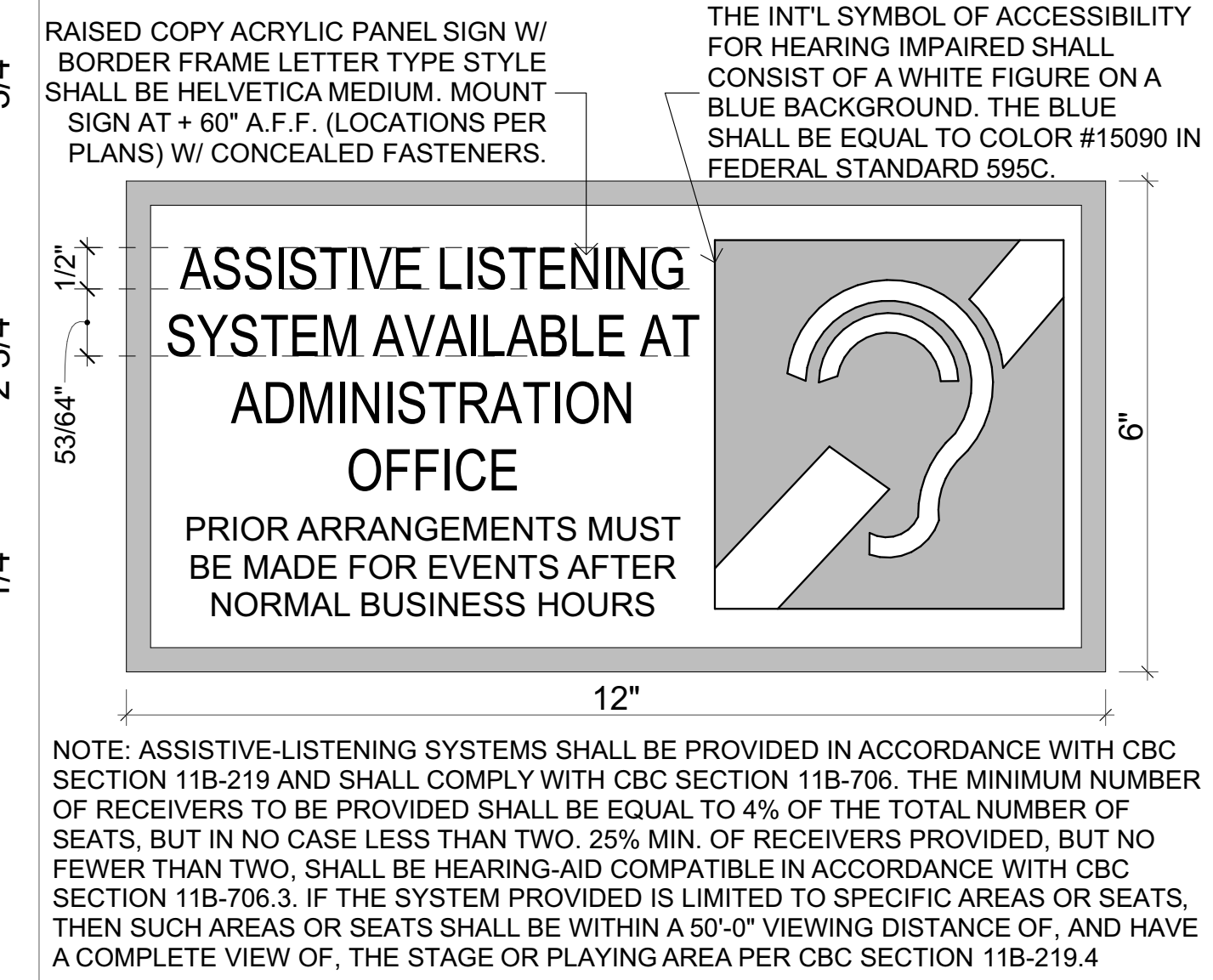
NOTE:  
PROPORTIONS SHALL MATCH CBC FIGURE 11B-703.7.2.1.



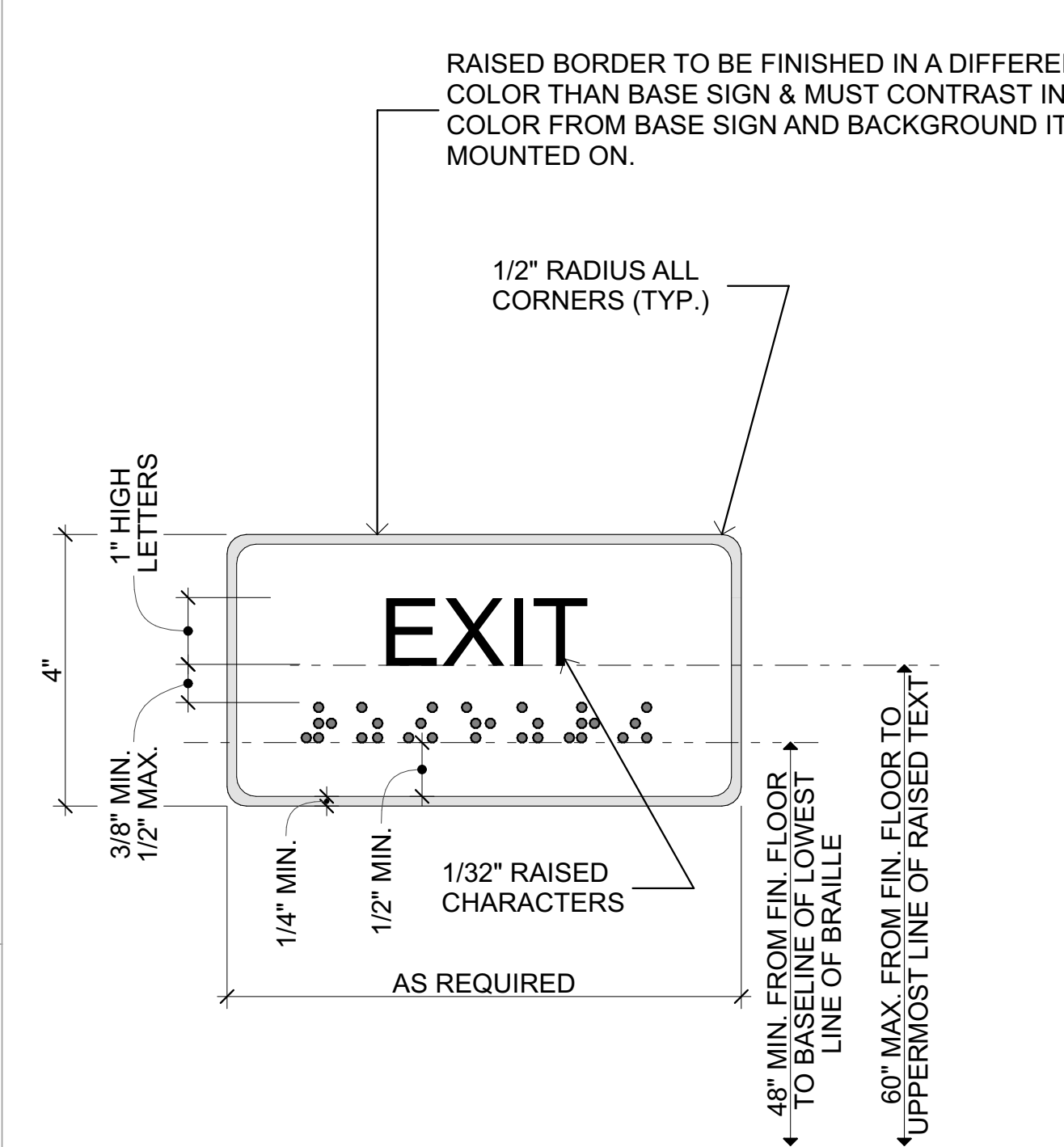
**12 ISA**  
SCALE: 3/4" = 1'-0"



**6 OCCUPANT LOAD SIGNAGE**  
SCALE: 6" = 1'-0"

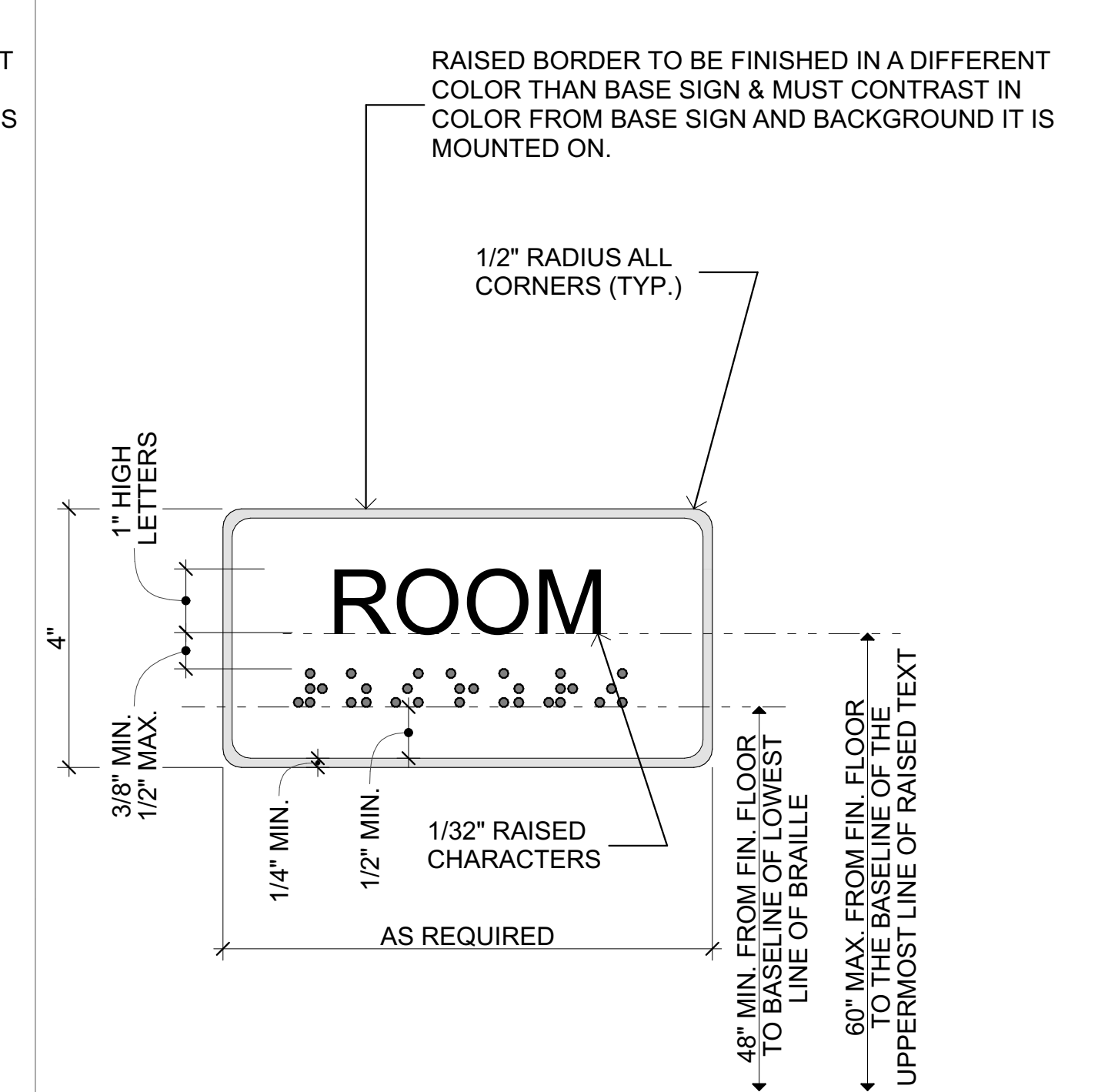


**2 ALS SIGNAGE**  
SCALE: 6" = 1'-0"



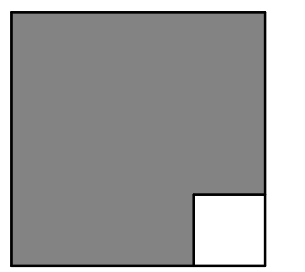
- NOTES:
- LETTER TYPE STYLE TO BE SANS SERIF PER SPECS.
  - ALLOW UP TO 16 CHARACTERS FOR SIGN.
  - PROVIDE DIE RAISED ALUMINUM PANEL SIGNS WITH RAISED BORDERS AT EXTERIOR LOCATIONS.
  - PROVIDE RAISED ACRYLIC PANEL SIGNS WITH BORDER FRAMES AT INTERIOR LOCATIONS.
  - ALL FASTENERS SHALL BE CONCEALED.
  - COLOR TO BE SELECTED BY ARCHITECT.
  - CONTRACTED CALIF. GRADE 2 BRAILLE SHALL BE USED WHEREVER SHOWN ON DRAWINGS. DOTS SHALL BE USED WHEREVER SHOWN ON DRAWINGS. DOTS SHALL BE 1/10" O.C. IN EACH CELL W/ 2/10" SPACE BETWEEN CELLS. DOTS SHALL BE RAISED 0.025" TO 0.037" ABOVE BACKGROUND. REFER TO DETAIL.
  - ALL BRAILLE SHALL BE CAPITALIZED AND INDICATED AS SUCH. WHERE INDICATED ON PLAN, TEXT SHALL READ 'EXIT ROUTE'. SEE KEYNOTES ON SHEET A-101 FOR SPECIFIC WORDING OF EACH EXIT SIGN.

**8 EXIT SIGN**  
SCALE: 3/4" = 1'-0"



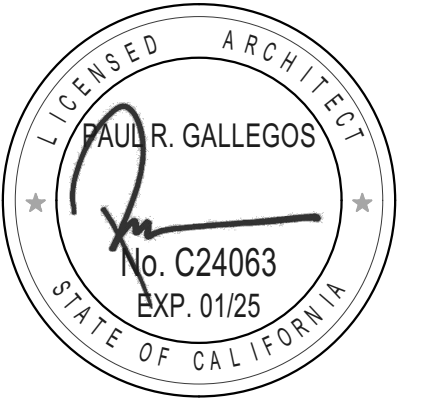
- NOTES:
- COORDINATE AND SCHEDULE SIGN VERBIAGE WITH ARCHITECT AND DISTRICT.
  - LETTER TYPE STYLE TO BE SANS SERIF PER SPECS.
  - ALLOW UP TO 16 CHARACTERS FOR SIGN.
  - PROVIDE DIE RAISED ALUMINUM PANEL SIGNS WITH RAISED BORDERS AT EXTERIOR LOCATIONS.
  - PROVIDE RAISED ACRYLIC PANEL SIGNS WITH BORDER FRAMES AT INTERIOR LOCATIONS.
  - ALL FASTENERS SHALL BE CONCEALED.
  - COLOR TO BE SELECTED BY ARCHITECT.
  - CONTRACTED CALIF. GRADE 2 BRAILLE SHALL BE USED WHEREVER SHOWN ON DRAWINGS. DOTS SHALL BE USED WHEREVER SHOWN ON DRAWINGS. DOTS SHALL BE 1/10" O.C. IN EACH CELL W/ 2/10" SPACE BETWEEN CELLS. DOTS SHALL BE RAISED 0.025" TO 0.037" ABOVE BACKGROUND. REFER TO DETAIL.
  - ALL BRAILLE SHALL BE CAPITALIZED AND INDICATED AS SUCH.

**4 ROOM NAME SIGNAGE**  
SCALE: 3/4" = 1'-0"



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MOUNTAIN EMPIRE UNIFIED SCHOOL DISTRICT  
3291 BUCKMAN SPRINGS RD PINE VALLEY CA 91962

REVISIONS		
MARK	DATE	DESCRIPTION

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23-027 MEUSD Descanso ES\_DRAFT\_23-10-11.pln

PLOT DATE:  
10/24/2023

SHEET TITLE

SIGNAGE DETAILS

**A-902**