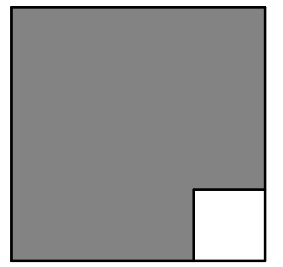


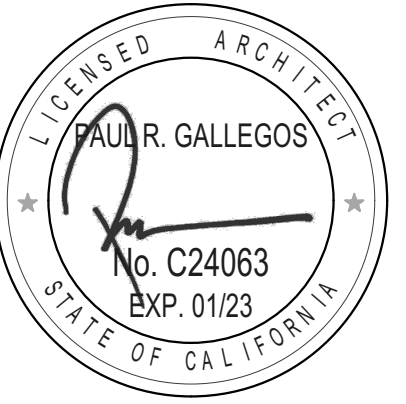
NEW PRESCHOOL PINE VALLEY MIDDLE SCHOOL

ALPHASTUDIO DESIGN GROUP



6152 INNOVATION WAY
CARLSBAD, 92009
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ARCHITECT OF RECORD



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SHEET TOTAL: 23

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PROJECT DIRECTORY

CLIENT:
MOUNTAIN EMPIRE UNIFIED
SCHOOL DISTRICT
3291 BUCKMAN SPRING RD.
PINE VALLEY, CA
91962

ARCHITECT:
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ELECTRICAL:
JOHNSON CONSULTING
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12875 BROOKPRINTER PLACE
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P: 858-679-4030

MECHANICAL/PLUMBING:
DEC ENGINEERS, INC.
7360 CARROLL ROAD, SUITE 100
SAN DIEGO, CA 92121
P: 858-578-3270

PROJECT SCOPE

THE SCOPE OF THE PROJECT INCLUDES THE DEMOLITION OF INTERIOR WALLS AND DOORS TO PROVIDE FOR (2) SINGLE-USE RESTROOMS.

VICINITY MAP



PINE VALLEY
ELEMENTARY SCHOOL
7454 PINE BLVD.
PINE VALLEY, CA 91962

NEW PRESCHOOL

PINE VALLEY MIDDLE SCHOOL
7454 PINE BLVD.
PINE VALLEY, CA 91962
MOUNTAIN EMPIRE UNIFIED SCHOOL DISTRICT
3291 BUCKMAN SPRING RD. PINE VALLEY CA 91962

REVISIONS		
MARK	DATE	DESCRIPTION

PROJECT NO: #PIn
MODEL FILE:
22-005_MEUSD Pine Valley MS Preschool.pln

PLOT DATE:
8/2/2022

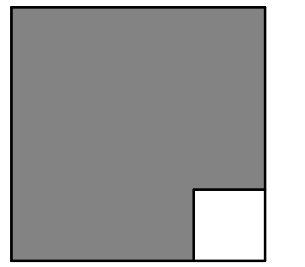
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COVER SHEET

T-001

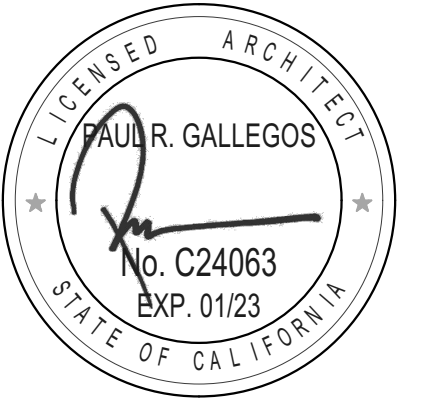
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ENGINEER OF RECORD

GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE CODES LISTED ON THIS SHEET. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH ALL CODES AND ORDINANCES, CITY OR STATE AS REQUIRED FOR THE CONSTRUCTION OF THE FOLLOWING PROJECT. WHERE CONFLICTS OCCUR BETWEEN FEDERAL, STATE, AND LOCAL LAWS, CODES, ORDINANCES, AND REGULATIONS, THE MOST STRINGENT SHALL GOVERN.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF BOTH THE UNIFORM BUILDING CODE AND TITLE 24, CALIFORNIA CODE OF REGULATIONS.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF WORK. THE EXISTING CONDITIONS SHALL INCLUDE, BUT NOT BE LIMITED TO: IRRIGATION, DRAINAGE, SITE MECHANICAL, PLUMBING, AND ELECTRICAL. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN SITE CONDITIONS AND CONTRACT DOCUMENTS. FAILURE TO NOTIFY WHILE PROCEEDING WITH WORK SHALL IMPLY ACCEPTANCE OF THE SITE CONDITIONS BY THE CONTRACTOR FOR THE WORK INTENDED.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE AND SAFE BRACING TO SUPPORT THE COMPONENTS OF THE STRUCTURE UNTIL THE STRUCTURE ITSELF, FLOOR AND ROOF DIAPHRAGMS ARE COMPLETE ENOUGH TO SUPPORT ITSELF. THE SAFETY AND ERECTION OF BRACING SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THERE ARE NO DISCREPANCIES BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTING ENGINEER'S DRAWINGS WHICH WOULD CAUSE A CONFLICT IN THE INSTALLATION OF THE SYSTEMS. IF SUCH A CONFLICT DOES OCCUR, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ALERT THE ARCHITECT TO THE SITUATION PRIOR TO INSTALLATION. ANY WORK INSTALLED IN CONFLICT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REMEDY WITH NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL REFER TO THE SPECIFICATIONS FOR A COMPLETE LIST OF GENERAL CONDITIONS, SPECIAL CONDITIONS, AND MATERIAL INSTALLATION METHODOLOGY.
- TYPICAL NOTES AND DETAILS SHALL APPLY UNLESS SHOWN OTHERWISE. WHERE A CONSTRUCTION DETAIL IS NOT SHOWN OR NOTED, THE DETAIL SHALL BE THE SAME AS FOR A SIMILAR CONDITION.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS, SERVICES, POINTS OF CONNECTION, AND IRRIGATION LINES IN THE CONSTRUCTION AREA PRIOR TO COMMENCEMENT OF WORK. IF PROPER VERIFICATION IS NOT DONE PRIOR TO WORK COMMENCING, AND DAMAGE IS INCURRED THE CONTRACTOR SHALL REPAIR THE DAMAGE AT NO COST TO THE OWNER.
- ALL DRAWINGS ARE FOR ILLUSTRATION ONLY. THE CONTRACTOR AND SUBCONTRACTORS SHALL NOT LOCATE ITEMS BY SCALING. IF ITEMS ARE MISLOCATED DUE TO SCALING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND CORRECTLY INSTALLING THE ITEMS AT NO EXPENSE TO THE OWNER.
- IT IS THE INTENT OF THESE DRAWINGS TO INDICATE A COMPLETE AND FINISHED PRODUCT AND / OR ABUTING EXISTING CONDITION IN A FINISHED AND PROFESSIONAL MANNER.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO KEEP THE AREA AROUND THE WORK IN A CLEAN AND SAFE CONDITION. ALL TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER. AREA OF WORK SHALL BE COMPLETELY CLEANED AND READY FOR OCCUPANCY UPON COMPLETION OF WORK.
- ALL WORK SHALL CONFORM TO TITLE 24 CA CODE OF REGULATIONS. A COPY OF TITLE 24, PARTS 1-5, SHALL BE AVAILABLE ON THE JOBSITE AT ALL TIMES.
- CHANGES TO THE APPROVED DRAWINGS SHALL BE MADE BY ADDENDA OR CONSTRUCTION CHANGE DOCUMENT (CCD) AS REQUIRED BY SEC. 4-338, PART 1, T-24, C.C.R. ALL ADDENDA AND CONSTRUCTION CHANGE DOCUMENTS SHALL BE SIGNED BY THE ARCHITECT.
- THE PROJECT SHALL CONFORM TO CURRENT ADA STANDARDS 2019 CBC CHAPTER 11 B.
- FOOD HANDLING FACILITIES SHALL COMPLY WITH ALL LOCAL HEALTH REQUIREMENTS AND CALIFORNIA UNIFORM RETAIL FOOD FACILITIES LAWS.
- THE ARCHITECT AND OR ENGINEER SHALL MAKE PERIODIC SITE VISITS DURING CONSTRUCTION TO OBSERVE THE PROGRESS OF THE WORK AND VERIFY GENERAL CONFORMANCE TO THE PLANS AND SPECIFICATIONS IS BEING MET. THESE VISIT DO NOT CONSTITUTE A GUARANTEE OF THE CONTRACTOR'S WORK. A CONTRACTOR'S ERROR THAT GOES UNDETECTED DURING A PERIODIC VISIT DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR PROPERLY PERFORMING THE SCOPE OF THE PROJECT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ADJACENT STRUCTURES, PROPERTY, AND SITE FEATURES DURING CONSTRUCTION. ANY DAMAGE TO SUCH ITEMS SHALL BE PROMPTLY RESTORED TO THE SATISFACTION OF THE OWNER AND ARCHITECT.
- CONTRACTORS AND SUBCONTRACTORS ARE REQUIRED TO SUBMIT THEIR BIDS BASED ON ALL DRAWINGS AND SPECIFICATIONS, NOT SOLELY THE SHEETS OR SECTIONS RELEVANT TO THEIR TRADE.
- THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE COMPLIMENTARY IN NATURE. HOWEVER IF A DISCREPANCY OCCURS BETWEEN THE TWO DOCUMENTS, THE MORE STRINGENT REQUIREMENT AND HIGHEST LEVEL OF QUALITY SHALL TAKE PRECEDENCE.
- ALL DETAILS PROVIDED IN THE CONSTRUCTION DOCUMENTS ARE A PART OF THE CONSTRUCTION SCOPE REGARDLESS OF WHETHER THEY ARE SPECIFICALLY REFERENCED.

GENERAL DEMOLITION NOTES

- DEMOLITION PLANS REFERENCE GENERAL ITEMS AND CONDITION VARIATIONS MAY OCCUR WITHIN AREA OF DEMOLITION AND SHALL BE TREATED AS SIMILAR.
- NOT ALL LOCATIONS FOR DEMOLITION MAY BE NOTED. CONTRACTOR SHALL REVIEW THE PROJECT REQUIREMENTS AND BE FAMILIAR WITH THE EXISTING SITE CONDITIONS FOR EVALUATION OF DEMOLITION WORK NECESSARY TO COMPLETE THE NEW WORK.
- KEY NOTES REFERENCE GENERAL ELEMENTS FOR DISPOSAL OR SALVAGE. VARIOUS ASSOCIATED ITEMS MAY OCCUR AND SHALL BE REMOVED ACCORDING TO THE NEEDS AND DESIGN INTENT OF THE NEW CONSTRUCTION.
- THE CONTRACTOR SHALL NOT REMOVE OR ALTER ANY BUILDING ELEMENTS OR SYSTEMS NECESSARY FOR THE BUILDING'S STRUCTURAL INTEGRITY WITHOUT PRIOR AUTHORIZATION FROM THE ARCHITECT AND/OR STRUCTURAL ENGINEER OF RECORD.
- CONTRACTOR SHALL NOT ALTER OR REMOVE ANY SHEAR WALLS OR BEARING WALLS UNLESS IDENTIFIED ON THE DRAWINGS WITH APPROPRIATE DETAILS. THE CONTRACTOR SHALL TAKE PRECAUTIONS DURING DEMOLITION AND CONSTRUCTION ACTIVITIES TO NOT EFFECT THE EXISTING STRUCTURAL SYSTEM OF THE BUILDING. IF DURING THE COURSE OF THE WORK, ELEMENTS THAT ARE IDENTIFIED TO BE DEMOLISHED, BUT APPEAR STRUCTURAL IN NATURE AND NOT IDENTIFIED AS SUCH, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY. THE CONTRACTOR SHALL NOT PROCEED WITH THE DEMOLITION OF SUCH ELEMENTS WITHOUT THE DIRECTION OF THE ARCHITECT AND/OR STRUCTURAL ENGINEER OF RECORD.
- AFTER THE DEMOLITION AND REMOVAL OF ELEMENTS, REPAIR AND RESTORE EXISTING FINISHES TO BE LEFT EXPOSED TO THEIR ORIGINAL CHARACTER. WHERE EXISTING FINISHES ARE TO BE HIDDEN WITH NEW MATERIALS, THOSE FINISHES SHALL BE RESTORED TO PROVIDE ADEQUATE SUITABILITY, STRENGTH, AND SUBSTRATE FOR NEW CONSTRUCTION AND FINISHES.
- CONTRACTOR SHALL COMPLY WITH THE FOLLOWING SECTIONS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION:
 - 5-2 PROTECTION
 - 5-3 REMOVAL
 - 5-4 RELOCATION
 - 7-8 PROJECT SITE MAINTENANCE
 - 7-9 PROTECTION AND RESTORATION OF EXIST. IMPROVEMENTS
 - 7-10 PUBLIC CONVENIENCE AND SAFETY
- SAFETY DURING CONSTRUCTION SHALL COMPLY WITH CHAPTER 33 C.B.C. AND CHAPTER 33 C.F.C.
- THE CONTRACTOR SHALL DISPOSE OF DEMOLITION MATERIALS IN A LEGAL AND ACCEPTABLE MANNER.
- CONTRACTOR SHALL MAKE AVAILABLE TO OWNER ANY MATERIALS OR EQUIPMENT LISTED FOR DEMOLITION, DISPOSAL, REMOVAL, ETC. UPON OWNERS REQUEST. OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL SALVAGABLE ITEMS.
- CONTRACTOR SHALL KEEP OPERATING EQUIPMENT OR MATERIALS INDICATED FOR REUSE, RELOCATION, OR OWNER RETENTION IN A SAFE MANNER TO PROTECT THE MATERIAL OR EQUIPMENT FROM DAMAGE.
- THE CONTRACTOR IS RESPONSIBLE TO PERFORM ALL DEMOLITION WORK NECESSARY TO ALLOW EXECUTION OF ALL REQUIREMENTS OF THE NEW CONSTRUCTION UNDER THIS CONTRACT. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS.
- THE RECORD DRAWINGS FOR THE FACILITIES TO BE MODERNIZED MAY BE AVAILABLE FROM THE DISTRICT FOR REFERENCE. CONTRACTOR SHALL REQUEST DRAWINGS OR OTHER OWNER SUPPLIED DOCUMENTS PRIOR TO BEGINNING DEMOLITION OR CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL REVIEW THE RECORD DOCUMENTS TO DETERMINE ANY CONDITIONS WHERE CONFLICTS, HARDSHIPS, OR SIMILAR ISSUES MAY ARISE. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS WHERE CONFLICTS MAY ARISE PRIOR TO DEMOLITION OR CONSTRUCTION ACTIVITIES.
- AREA OF FLOOR SLAB OR PAVING DEMOLITION IS SHOWN AS AN APPROXIMATION ONLY TO DEFINE GENERAL SCOPE OF WORK. EXISTING CONDITIONS MAY REQUIRE A LARGER / DIFFERENTLY CONFIGURED AREA OF DEMOLITION. REMOVAL SHALL BE IN ACCORDANCE TO THE NEEDS AND DESIGN INTENT OF THE NEW CONSTRUCTION. COORDINATE DEMOLITION REQUIREMENTS WITH CIVIL, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DESIGN AND DRAWINGS.
- ALL FLOOR SLAB AND/OR PAVING SAWCUTS SHALL BE DONE IN A MANNER THAT CREATES A SHARP, STRAIGHT, AND SQUARE EDGE. SAW CUT EDGES EXPOSED FOR LONG DURATIONS DURING CONSTRUCTION SHALL BE PROTECTED BY THE CONTRACTOR IN ORDER TO LIMIT CHIPPING OF CONCRETE EDGE. IF CHIPPING OR OTHER DAMAGE OCCURS, CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ADDITIONAL FLOOR SLAB AND/OR PAVING TO NEXT AVAILABLE JOINT OR AS DETERMINED BY ARCHITECT AT THE CONTRACTOR'S OWN COST.
- WHERE EQUIPMENT AND/OR FIXTURES ARE INDICATED TO BE REMOVED ALL RELATED EXPOSED PIPING, CONDUITS, AND ASSOCIATED ITEMS SHALL ALSO BE REMOVED AND/OR PROPERLY TERMINATED TO PROVIDE COMPLETE DEMOLITION.
- WHERE EXISTING CONSTRUCTION ELEMENTS (FRAMING, FINISHES, PIPES, CONDUITS, DUCTWORK, EQUIPMENT, ETC.) INTERFERE WITH THE INTENDED NEW CONSTRUCTION OR WOULD BE EXPOSED IN OTHERWISE 'FINISHED' AREAS, THESE ITEMS SHALL ALSO BE REMOVED AND/OR RELOCATED.
- AT DEMOLITION OF DOORS, WINDOWS, FLASHINGS, SOFFITS, ETC. WHERE PLASTER IS DISTURBED AT FINISHES TO REMAIN, REMOVE PLASTER BACK 6" MINIMUM TO EXPOSE LATH TO PERFORM PROPER PLASTER PATCH.
- REFER TO STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ALL DEMOLITION WORK SPECIFIC TO THOSE BUILDING SYSTEMS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REQUEST ANY HAZARDOUS ABATEMENT DOCUMENTS FOR THE SCOPE OF WORK TO FULLY UNDERSTAND THE EXTENT OF REMOVAL AND DISPOSAL REQUIREMENTS FOR THOSE MATERIALS.
- ALL ABATEMENT WORK SHALL BE COMPLETED BY THE CONTRACTOR PRIOR TO DEMOLITION WORK.

GENERAL ACCESSIBILITY NOTES

- EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE. HAND-ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 36" TO 42" ABOVE THE FLOOR (PANIC HARDWARE SHALL BE BETWEEN 36" TO 44" ABOVE FIN. FLR.). LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND IN A PATH OF TRAVEL, SHALL BE OPENABLE WITH A SINGLE EFFORT BY LEVER-TYPE HARDWARE, BY EXIT DEVICE, OR PUSH-PULL ACTIVATING BARS. LOCKED EXIT DOORS SHALL OPERATE BY ABOVE IN DIRECTON OF EGRESS.
- MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5.0 POUNDS FOR EXTERIOR AND INTERIOR DOORS. SUCH PUSH OR PULL EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS.
- DOOR CLOSERS AND GATES CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM.
- THE FLOOR OR LANDING SHALL NOT BE MORE THAN 1/2 INCH LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGE IN LEVEL BETWEEN 1/4 AND 1/2 INCH SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1 UNIT VERTICAL TO 2 UNITS HORIZONTAL.
- ACCESSIBLE FIXTURES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH CALIFORNIA PLUMBING CODE, 2019 EDITION.
- EXPOSED LAVATORY P-TRAP ASSEMBLIES AND WATER SUPPLY LINES SHALL BE INSTALLED WITH REMANUFACTURED VINYL COVERED P-TRAP, VALVE, AND SUPPLY INSULATED COVER.
- THE FORCE REQUIRED TO OPERATE LAVATORY OR SINK FAUCETS SHALL BE NO GREATER THAN 5 POUNDS. SELF-CLOSING FAUCETS SHALL HAVE A MINIMUM 10 SECOND CYCLE TIME.
- ALL ACCESSIBLE GATES WITHIN THE PATH OF TRAVEL SHALL HAVE NON-GRIP HARDWARE MOUNTED BETWEEN 34" TO 44" ABOVE FINISH PAVING. THERE SHALL BE 24" MINIMUM CLEAR SPACE PROVIDED AT THE STRIKE SIDE OF THE GATE FOR ACCESSIBLE MANEUVERING CLEARANCES.
- ALL DIMENSIONS FOR ACCESSIBLE COMPONENTS, FEATURES, OR CLEAR FLOOR SPACE ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
- WHERE FLOOR DRAINS ARE PROVIDED, FINISHED SURFACE SHALL SLOPE TO DRAIN NO MORE THAN 2% IN ANY DIRECTION. FLOOR DRAINS AND FLOOR SINKS SHALL HAVE 1/2" MAXIMUM GRATE OPENINGS IN ALL DIRECTION.
- ACCESSIBLE PATH OF TRAVEL (POT) SHALL BE A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" BEVELED 1:2 MAX SLOPE OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX. POT SHALL BE AT LEAST 48" IN WIDTH WITH A STABLE, FIRM, AND SLIP RESISTANT SURFACE. CROSS SLOPE SHALL NOT EXCEED 2% MAX AND THE SLOPE IN THE DIRECTION OF TRAVEL SHALL NOT EXCEED 5%. POT SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM ABOVE FINISHED SURFACE AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM THE WALL AND 27" ABOVE FINISHED SURFACE, BUT LESS THAN 80" ABOVE FINISHED SURFACE. REFERENCE CBC 11B-202.4.
- OPENINGS IN GRATINGS OR STRAINERS LOCATED IN THE PEDESTRIAN CIRCULATION PATHS OR PATH OF TRAVEL SHALL NOT ALLOW PASSAGE OF A SPHERE MORE THAN 1/2" DIAMETER. ELONGATED OPENINGS SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL IN COMPLIANCE WITH CBC 11B-302.
- GATES IN THE PATH OF TRAVEL SHALL COMPLY WITH EXIT DOOR REQUIREMENTS.

DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT

THE PATH OF TRAVEL (POT) IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS, AND STRUCTURAL REPAIRS AS PART OF THE DESIGN OF THIS PROJECT. THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS, OR PORTIONS OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT HAVE BEEN IDENTIFIED AND, THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT THROUGH DETAILS, DRAWINGS, AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS.

ANY NONCOMPLIANT ELEMENTS, COMPONENTS, OR PORTIONS OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARDSHIP ARE INDICATED IN THESE CONSTRUCTION DOCUMENTS. DURING CONSTRUCTION, IF POT ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS COMPLIANT ARE FOUND TO BE NON-COMFORMING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE BY MEANS OF A CONSTRUCTION CHANGE CHANGE DOCUMENT (CCD).

APPLICABLE CODES/STANDARDS

- 2019 BUILDING STANDARDS ADMINISTRATIVE CODE PART 1, TITLE 24, C.C.R.
- 2019 CALIFORNIA BUILDING CODE (C.B.C.) PART 2, TITLE 24, C.C.R. (2018 I.B.C., VOL. 1-2 AND 2019 CA AMENDMENTS)
- 2019 CALIFORNIA ELECTRIC CODE (C.E.C.), PART 3, TITLE 24, C.C.R. (2017 N.E.C. AND 2019 CA AMENDMENTS)
- 2019 CALIFORNIA MECHANICAL CODE (C.M.C.) PART 4, TITLE 24, C.C.R. (2018 U.M.C. AND 2019 CA AMENDMENTS)
- 2019 CALIFORNIA PLUMBING CODE (C.P.C.), PART 5, TITLE 24, C.C.R. (2018 U.P.C. AND 2019 CA AMENDMENTS)
- 2019 CALIFORNIA ENERGY CODE, PART 6, TITLE 24, C.C.R.
- 2016 ASME A 17.1 SAFETY CODE FOR ELEVATORS & ESCALATORS
- 2019 CALIFORNIA FIRE CODE, PART 9, TITLE 24, C.C.R. (2018 I.F.C. AND 2019 CALIF AMENDMENTS)
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE, PART 11, TITLE 24, C.C.R.
- 2019 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24, C.C.R. TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS
- NFPA 13 - AUTOMATIC SPRINKLER SYSTEMS 2016 ED.
- NFPA 14 - STANDPIPE SYSTEMS 2016 ED.
- NFPA 17 - DRY CHEMICAL EXTINGUISHING SYSTEMS 2017 ED.
- NFPA 17A - WET CHEMICAL SYSTEMS 2017 ED.
- NFPA 20 - STATIONARY PUMPS 2016 ED.
- NFPA 24 - PRIVATE FIRE MAINS 2016 ED.
- NFPA 25 - STANDARD FOR INSPECTION, TESTING, & MAINTENANCE OF WATER-BASED FIRE PROTECTION SYSTEMS 2013 ED.
- NFPA 72 - NATIONAL FIRE ALARM CODE (CA AMEND.) 2016 ED. (NOTE SEE UL STANDARD 1971 FOR "VISUAL DEVICES")
- NFPA 80 - FIRE DOORS & OTHER OPENING PROTECTIVES 2016 ED.
- NFPA 92 - STANDARD FOR SMOKE CONTROL SYSTEMS 2018 ED.
- NFPA 253 - CRITICAL RADIANT FLUX OF FLOOR COVERING SYSTEMS 2019 ED.
- NFPA 2001 - CLEAN AGENT FIRE EXTINGUISHING SYSTEMS 2018 ED.
- UL 464 - AUDIBLE SIGNAL DEVICES 2003 ED.
- UL 521 - HEAT DETECTORS FOR FIRE PROTECTIVE SIGNALING SYSTEMS 1999 ED. REFERENCE CODE SECTION FOR NFPA STANDARDS 2019 C.B.C. (SFM) CHAPTER 35. SEE CHAPTER 35 FOR STATE OF CA AMENDMENTS TO NFPA STANDARDS.

NEW PRESCHOOL
PINE VALLEY MIDDLE SCHOOL

7454 PINE BLVD.
PINE VALLEY, CA 91962

MOUNTAIN EMPIRE UNIFIED SCHOOL DISTRICT
3281 BUCKMAN SPRING RD. PINE VALLEY CA 91962

REVISIONS		
MARK	DATE	DESCRIPTION

PROJECT NO: #PIn
MODEL FILE:
22-005_MEUUSD Pine Valley MS Preschool.pln

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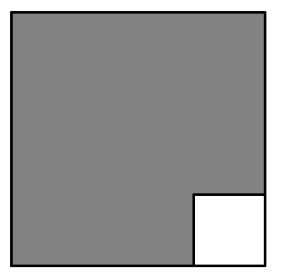
SHEET TITLE

APPLICABLE CODES AND
GENERAL NOTES

T-002

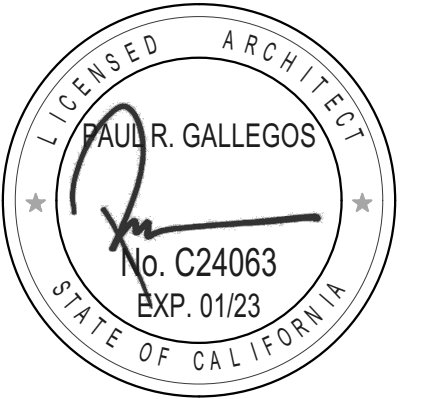
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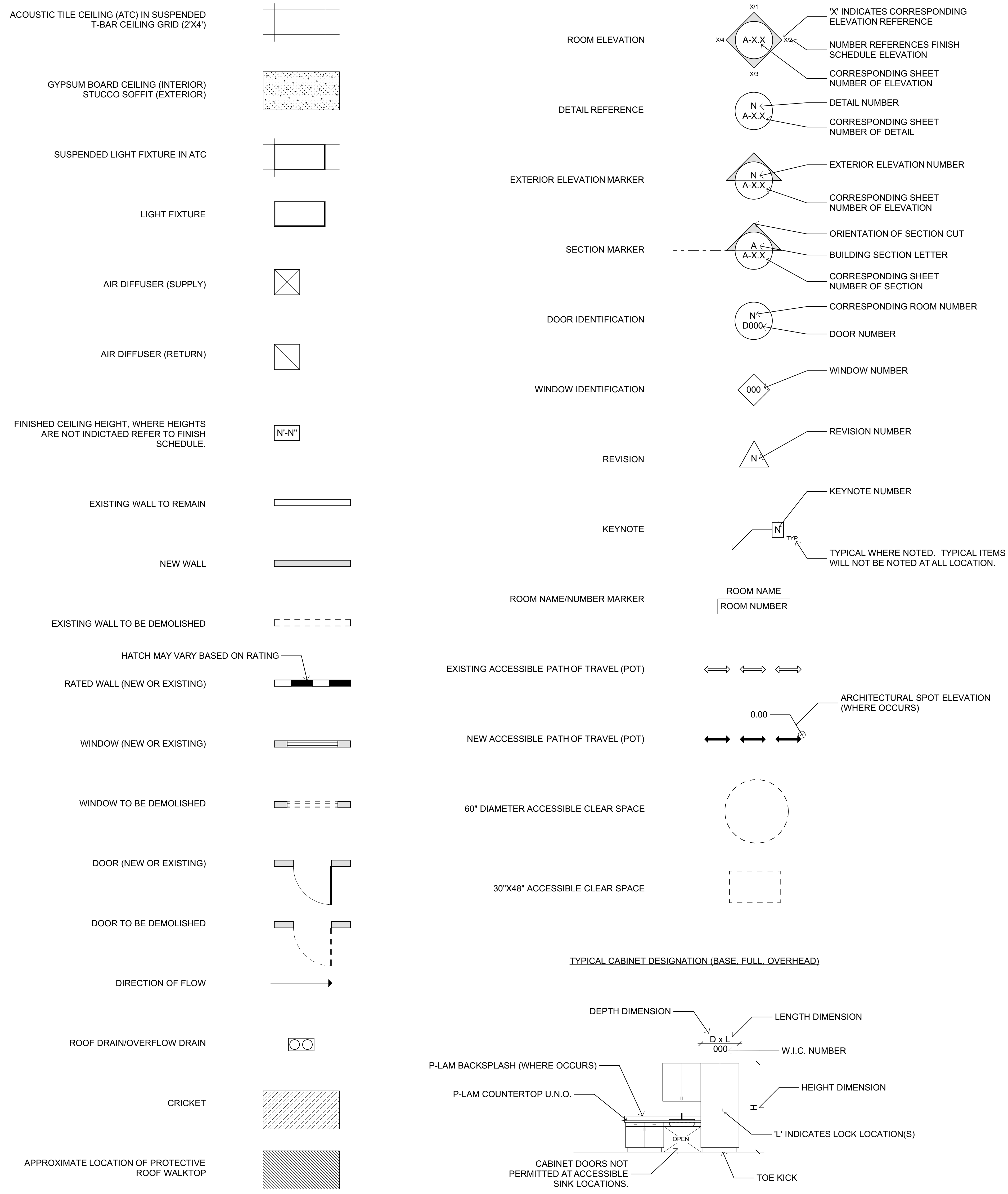


ENGINEER OF RECORD

STANDARD ABBREVIATIONS

&	AND	GA.	GAUGE	STD.	STANDARD
<	ANGLE	GALV.	GALVANIZED	STL.	STEEL
@	AT	GB.	GRAB BAR	ST.	STEEL
A	AMP	GC.	GENERAL CONTRACTOR	STO.	STORAGE
AB.	ANCHOR BOLT	GL.	GLASS	STRUC.	STRUCTURAL
ABV.	ABOVE	GI.	GALVANIZED IRON	STR.	STRUCTURAL
AC.	ASPHALT	GND.	GROUND	SUSP.	SUSPENDED
A/C.	AIR CONDITIONING	GPDW.	GYPSUM DRYWALL	SYM.	SYMMETRICAL
ACOUS.	ACOUSTICAL	GRD.	GRADE	T	TREAD
AD.	AREA DRAIN	GV.	GATE VALVE	TB.	TOWEL BAR
ADJ.	ADJUSTABLE	GYP.	GYPSUM	T&B	TOP AND BOTTOM
AGGR.	AGGREGATE	HB.	HOSE BIB	TOC	TOP OF CURB
AFF.	ABOVE FINISH FLOOR	HC.	HOLLOW CORE	TEL.	TELEPHONE
AL.	ALUMINUM	HD.	HEADER	TEM.	TEMPERED
AP.	ACCESS PANEL	HDR.	HEADER	TER.	TERAZZO
APPROX.	APPROXIMATE	HDW.	HARDWARE	TF.	TOP OF FOOTING
ARCH.	ARCHITECTURAL	HM.	HOLLOW METAL	T&G	TONGUE AND GROOVE
ASC.	ABOVE SUSPENDED CEILING	HDWD.	HARDWARE	THK.	THICK
AS.	AUTOMATIC SPRINKLER	HNDRL.	HANDRAIL	TP.	TOP OF PARAPET
AUTO.	AUTOMATIC	HORIZ.	HORIZONTAL	TPD.	TOILET PAPER DISPENSER
BD.	BOARD	HVAC.	HEATING, VENTILATING, AIR CONDITIONING	TS	TOP OF STRUCTURE
BFG.	BELOW FINISH GRADE	ID.	INSIDE DIAMETER	TTB.	TELEPHONE TERMINAL BACKBOARD
BITUM.	BITUMINOUS	IE.	INVERT ELEVATION	TV.	TELEVISION
BLDG.	BUILDING	IF.	INSIDE FACE	TOW.	TOP OF WALL
BLK.	BLOCK	IN.	INCH	TYP.	TYPICAL
BM.	BEAM	INC.	INCLUDE	UG.	UNDERGROUND
BRG.	BEARING	INFO.	INFORMATION	UNF.	UNFINISHED
BRK.	BRICK	INSUL.	INSULATION	UNO	UNLESS NOTED OTHERWISE
BOT.	BOTTOM	INT.	INTERIOR	UNO	UNLESS OTHERWISE NOTED
BTU.	BRITISH THERMAL UNIT	INV.	INVERT	UR	URINAL
C.	CONDUIT	JAN.	JANITOR	UTIL.	UTILITY
CAB.	CABINET	JST.	JOIST	VAR.	VARIES
CB.	CATCH BASIN	JT.	JOINT	VB.	VAPOR BARRIER
CD.	CEILING DIFFUSER	KIT.	KITCHEN	VCT.	VINYL COMPOSITION TILE
CEM.	CEMENT	KP.	KICK PLATE	VERT.	VERTICAL
CER.	CERAMIC	KVA	KILOVOLT AMPERES	VEST.	VESTIBULE
CF.	CUBIC FEET	KW	KILOWATT	VIF.	VERIFY IN FIELD
CFM.	CUBIC FEET PER MINUTE	MAS.	MASONRY	VTR.	VENT THROUGH ROOF
CG.	CORNER GUARD	MATL.	MATERIAL	W	WEST
CI.	CAST IRON	MAX.	MAXIMUM	W/	WITH
CIP.	CAST IN PLACE	MC.	MEDICINE CABINET	WC.	WATER CLOSET
CKT. BKR.	CIRCUIT BREAKER	MECH.	MECHANICAL	WCO.	WALL CLEAN OUT
CL.	CENTERLINE	MFR.	MANUFACTURER	WD.	WOOD
CLG.	CEILING	MH.	MANHOLE	WDW.	WINDOW
CLR.	CLEAR	MIN.	MINIMUM	WH.	WATER HEATER
CMU.	CONCRETE MASONRY UNIT	MIR.	MIRROR	W/O	WITHOUT
CNTR.	COUNTER	MISC.	MISCELLANEOUS	WP.	WATERPROOF
CO.	CLEANOUT	MO.	MASONRY OPENING	WSCT.	WAINSCOT
COTG.	CLEANOUT TO GRADE	MTD.	MOUNTED	WT.	WEIGHT
COL.	COLUMN	MTL.	METAL	WWF.	WELDED WIRE FABRIC
CONC.	CONCRETE	MUL.	MULLION	WWW.	WELDED WIRE MESH
CONN.	CONNECTION	N.	NORTH		
CPT.	CARPET	NIC.	NOT IN CONTRACT		
CTR.	CENTER	NO.	NUMBER		
CTSK.	COUNTERSINK	NOM.	NOMINAL		
CW.	COLD WATER	NTS.	NOT TO SCALE		
D.	DRAIN	OA.	OUTSIDE AIR		
DBL.	DOUBLE	O/A	OVERALL		
DEPT.	DEPARTMENT	OBS.	OBSOLETE		
DET.	DETAIL	OC.	ON CENTER		
DF.	DINKING FOUNTAIN	OD.	OUTSIDE DIAMETER		
DIA.	DIAMETER	OFF.	OFFICE		
DIM.	DIMENSION	OH.	OPPOSITE HAND		
DISP.	DISPENSER	OPNG.	OPENING		
DMT.	DEMOUNTABLE	OP.	OPPOSITE		
DN.	DOWN	OVHD.	OVERHEAD		
DO.	DOOR OPENING	PAV.	PAVING		
DR.	DRAIN	PC.	PRECAST CONCRETE		
DS.	DOWNSPOUT	PCC.	PORTLAND CEMENT CONCRETE		
DWG.	DRAWING	PHP.	PARTIAL HEIGHT PARTITION		
DWR.	DRAWER	PLT.	PLATE		
EXIST.	EXISTING	PL	PROPERTY LINE		
E.	EAST	PLAM	PLASTIC LAMINATE		
EA.	EACH	PLAS.	PLASTER		
EF.	EXHAUST FAN	PLYWD.	PLYWOOD		
EJ.	EXPANSION JOINT	PLBGS.	PLUMBING		
ELEC.	ELECTRICAL	POC.	POINT OF CONNECTION		
ELEV.	ELEVATOR	PP.	POWER POLE		
EMER.	EMERGENCY	PRCST	PRE-CAST		
ENCL.	ENCLOSURE	PSI.	POUNDS PER SQUARE INCH		
EP.	ELECTRICAL PANELBOARD	PT.	POINT		
EQ.	EQUAL	PTD.	PAPER TOWEL DISPENSER		
EQUIP.	EQUIPMENT	PTN.	PARTITION		
EW.	EACH WAY	PVMT.	PAVEMENT		
EW.C.	ELECTRIC WATER COOLER	QT.	QUARRY TILE		
EH.	EXHAUST	R.	RISER		
EXIST.	EXISTING	RAD.	RADIUS		
EXPO.	EXPOSED	RD.	ROOF DRAIN		
EXP.	EXPANSION	REF.	REFERENCE		
EXT.	EXTERIOR	REFR.	REFRIGERATOR		
FAS.	FASTNER	REINF.	REINFORCED		
FA.	FIRE ALARM	REQ'D.	REQUIRED		
FB.	FACE BRICK	REV.	REVISION		
FCO.	FLOOR CLEANOUT	RESIL.	RESILIENT		
FD.	FLOOR DRAIN	RM.	ROOM		
FDN.	FOUNDATION	RO.	ROUGH OPENING		
FE.	FIRE EXTINGUISHER	RDWD.	REDWOOD		
FEC.	FIRE EXTINGUISHER CABINET	S.	SOUTH		
FF.	FINISH FLOOR	SC.	SOLID CORE		
FG.	FINISH GRADE	SCHED.	SCHEDULE		
FH.	FIRE HYDRANT	SD.	SOAP DISPENSER		
FHC.	FIRE HOUSE CABINET	SECT.	SECTION		
FIN.	FINISH	SF.	SQUARE FOOT		
FL.	FLOW LINE	SH.	SHELF		
FLR.	FLOOR	SHR.	SHOWER		
FLOUR.	FLOUR	SHT.	SHEET		
FOC.	FACE OF CONCRETE	SIM.	SIMILAR		
FOF.	FACE OF FINISH	SMH.	SEWER MANHOLE		
FOM.	FACE OF MASONRY	SND.	SANITARY NAPKIN DISPENSER		
FOS.	FACE OF STUD	SOV.	SHUT OFF VALVE		
FPRF.	FIREPROOFING	SPEC.	SPECIFICATIONS		
FS.	FINISH SURFACE	SPKR.	SPRINKLER		
FT.	FOOT	SQ.	SQUARE		
FTG.	FOOTING	SS.	STAINLESS STEEL		
FUT.	FUTURE	STA.	STATION		

TYPICAL SYMBOLS



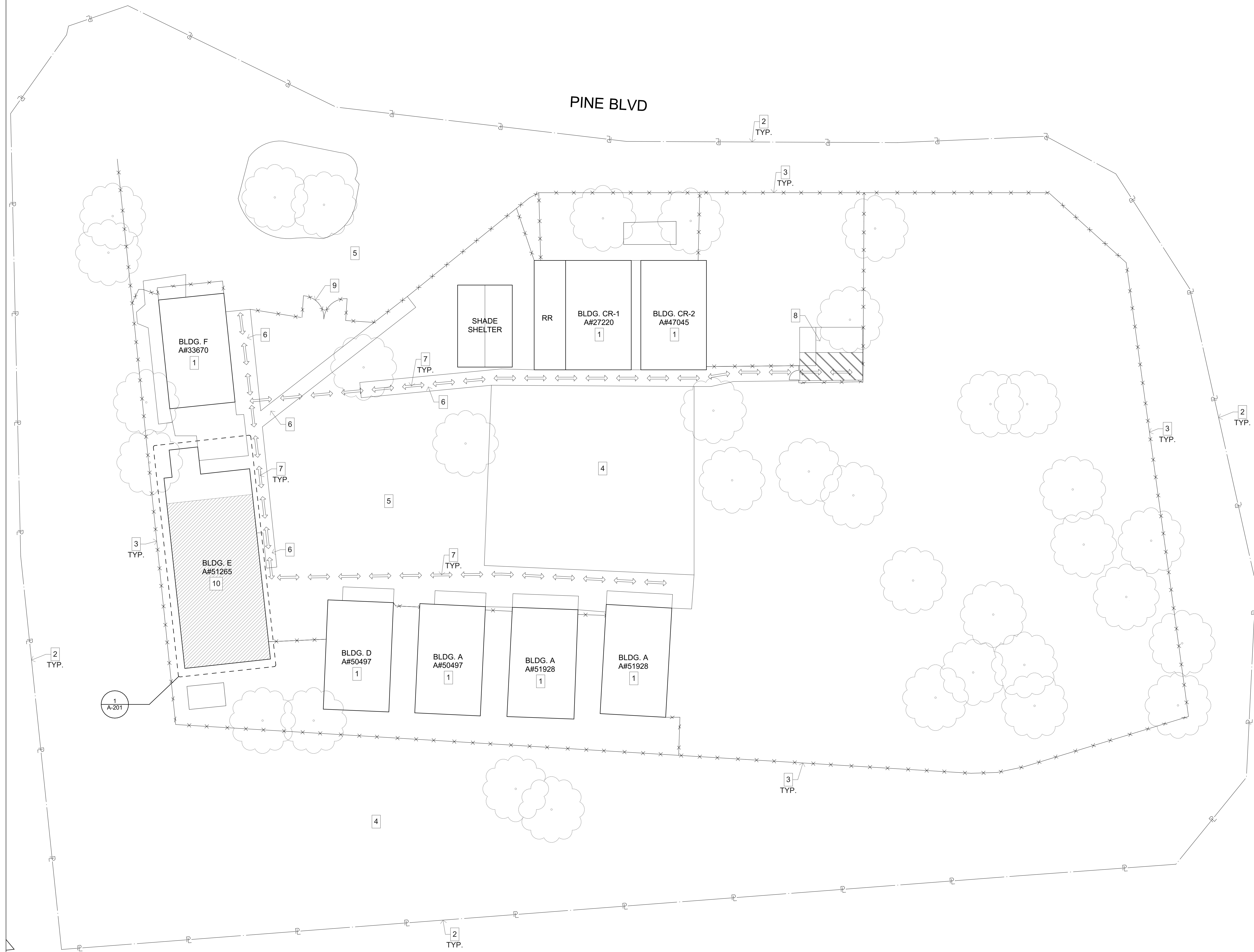
NEW PRESCHOOL
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7454 PINE BLVD.
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MOUNTAIN EMPIRE UNIFIED SCHOOL DISTRICT
3291 BUCKMAN SPRING RD. PINE VALLEY CA 91962

REVISIONS		
MARK	DATE	DESCRIPTION

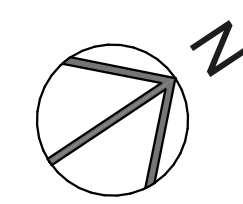
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MODEL FILE: 22-005_MEUUSD Pine Valley MS Preschool.pln
PLOT DATE: 8/2/2022
SHEET TITLE

ABBREVIATIONS AND
TYPICAL SYMBOLS

T-003



1 SITE PLAN
SCALE: 1/16" = 1'-0"



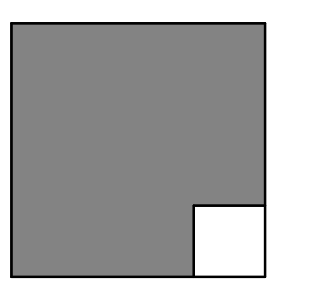
NOTES

1. EXISTING BUILDING TO REMAIN - N.I.C.
2. EXISTING PROPERTY LINE.
3. EXISTING 8'-0" HIGH CHAIN LINK FENCE TO REMAIN.
4. EXISTING LANDSCAPE AREA TO REMAIN - N.I.C.
5. EXISTING ASPHALT PAVING TO REMAIN - N.I.C.
6. EXISTING CONCRETE PAVING TO REMAIN - N.I.C.
7. EXISTING ACCESSIBLE PATH OF TRAVEL.
8. EXISTING ACCESSIBLE PARKING TO REMAIN.
9. EXISTING 16'-0" WIDE CHAIN LINK VEHICULAR GATE TO REMAIN.
10. HATCHING INDICATES NEW WORK IN EXISTING BUILDING. REFER TO SHEET A-201.

GENERAL NOTES

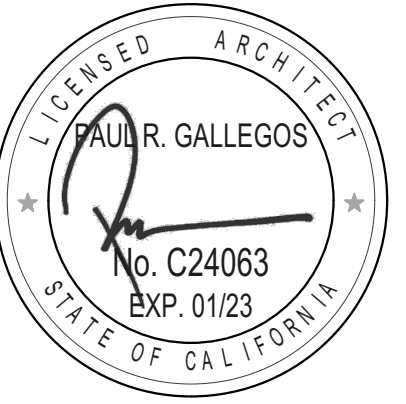
1. ALL LANDSCAPE AREAS, PAVING, AND SURFACING DISTURBED BY THE WORK OF THIS CONTRACT SHALL BE REPAIRED AND/OR REPLACED BY THE CONTRACTOR TO ORIGINAL INDUSTRY STANDARD OF QUALITY.
2. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO ELECTRICAL, SIGNAL, PLUMBING, ETC. THE CONTRACTOR SHALL PROTECT AND MAINTAIN EXISTING UTILITIES DURING CONSTRUCTION AND/OR TRENCHING.

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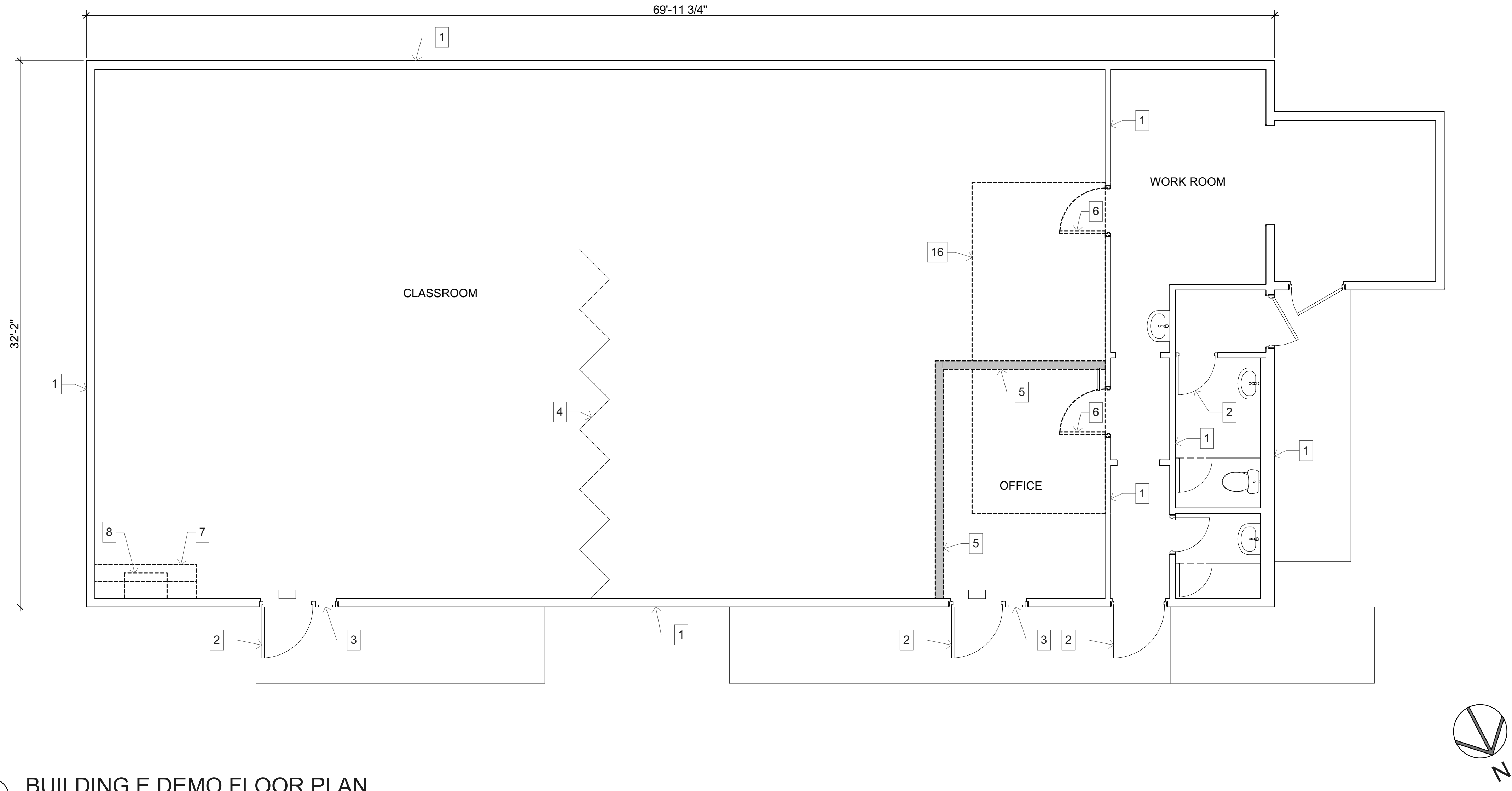
REVISIONS		
MARK	DATE	DESCRIPTION

PROJECT NO: #PIn
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22-005_MEUSD Pine Valley MS Preschool.pln

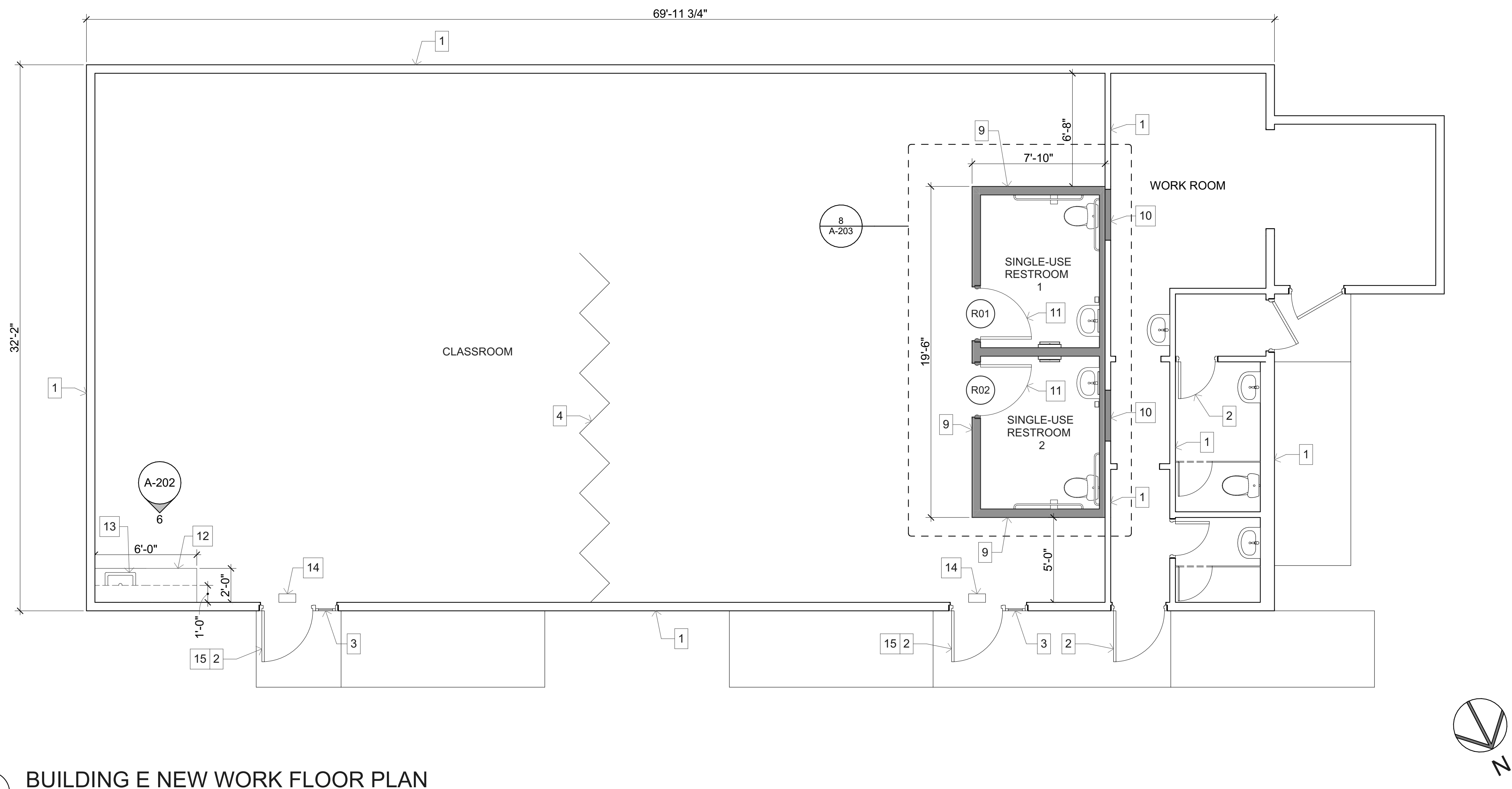
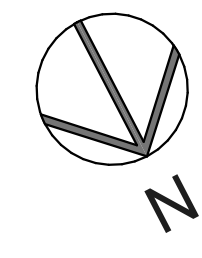
PLOT DATE:
8/2/2022

SHEET TITLE

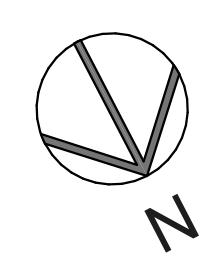
OVERALL SITE PLAN



2 BUILDING E DEMO FLOOR PLAN
SCALE: 1/4" = 1'-0"



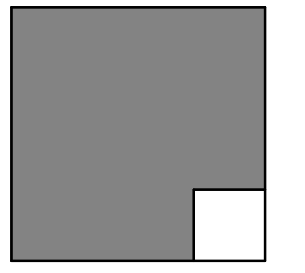
1 BUILDING E NEW WORK FLOOR PLAN
SCALE: 1/4" = 1'-0"



NOTES

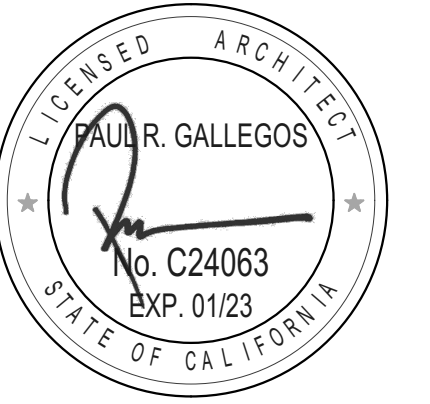
1. EXISTING WALL TO REMAIN.
2. EXISTING DOOR AND FRAME TO REMAIN.
3. EXISTING WINDOW TO REMAIN.
4. EXISTING MOVABLE PARTITION TO REMAIN - N.I.C.
5. DEMOLISH AND REMOVE EXISTING WALL.
6. DEMO AND REMOVE EXISTING DOOR AND FRAME. PREPARE FOR WALL INFILL.
7. DEMO AND REMOVE EXISTING BASE CABINET AND UPPER WALL CABINET CASEWORK.
8. DEMO AND REMOVE EXISTING SINK.
9. NEW PARTITION WALL PER DETAILS 12, 15, 16 & 17/A-202.
10. NEW WALL INFILL PER DETAIL 3/A-202. FINISH TO MATCH EXISTING ADJACENT SURFACES.
11. NEW DOOR PER DETAILS 4 & 5/A-202.
12. NEW CASEWORK PER DETAILS 7 & 8/A-202.
13. NEW SINK PER DETAIL PER DETAIL 9/A-202 AND PLUMBING DRAWINGS.
14. EXISTING EXIT SIGN TO REMAIN.
15. EXISTING PANIC DOOR HARDWARE TO REMAIN.
16. REMOVE EXISTING CARPET FLOORING AT NEW RESTROOM LOCATION.

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WALL LEGEND

- EXISTING WOOD STUD WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED AND REMOVED
- INTERIOR NON-RATED, NON-BEARING PARTITION WALL, 2X WOOD STUDS @ 16" O.C. WITH LAYER 5/8" GYP. BRD. EACH SIDE. REFER TO DETAILS 12, 15, 16 & 17/A-202.

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REVISIONS		
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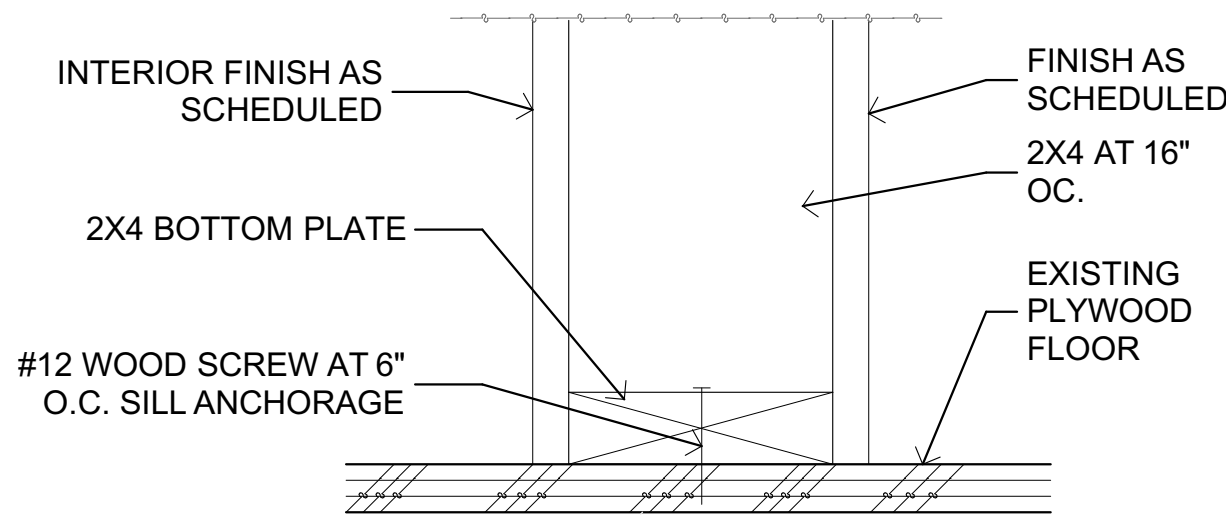
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MODEL FILE:
22-005_MEUSD Pine Valley MS Preschool.pln

PLOT DATE:
8/2/2022

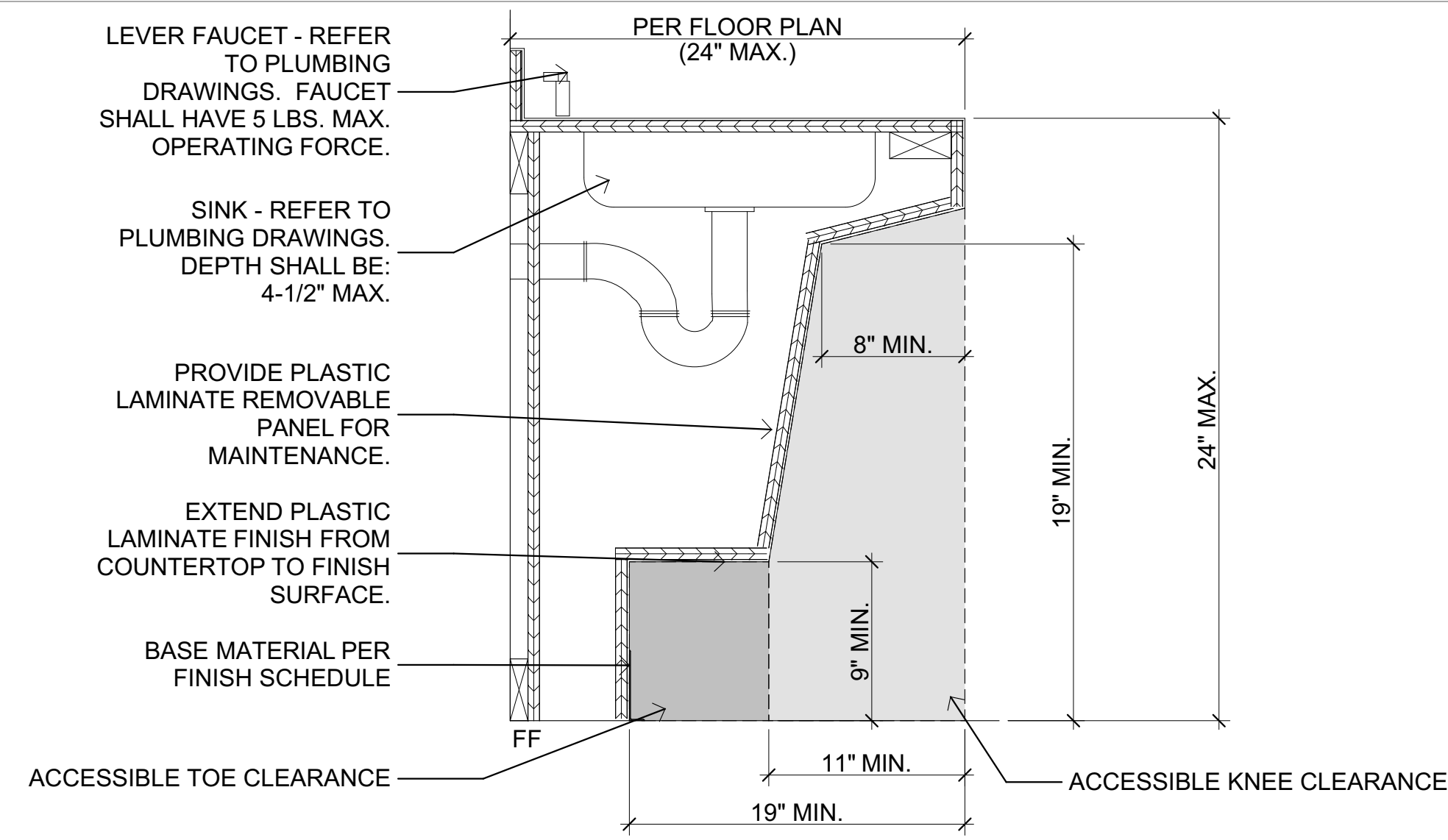
SHEET TITLE

DEMO AND NEW WORK
FLOOR PLANS

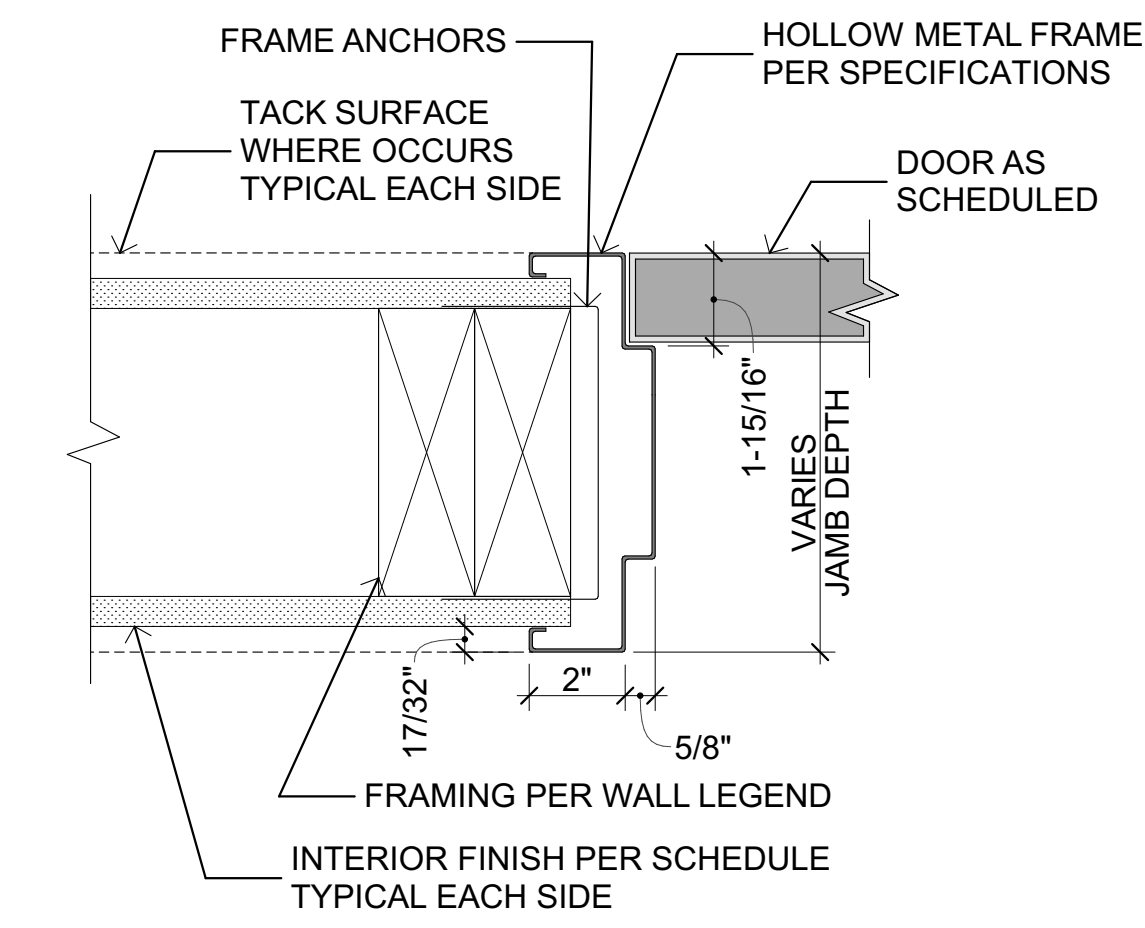
A-201



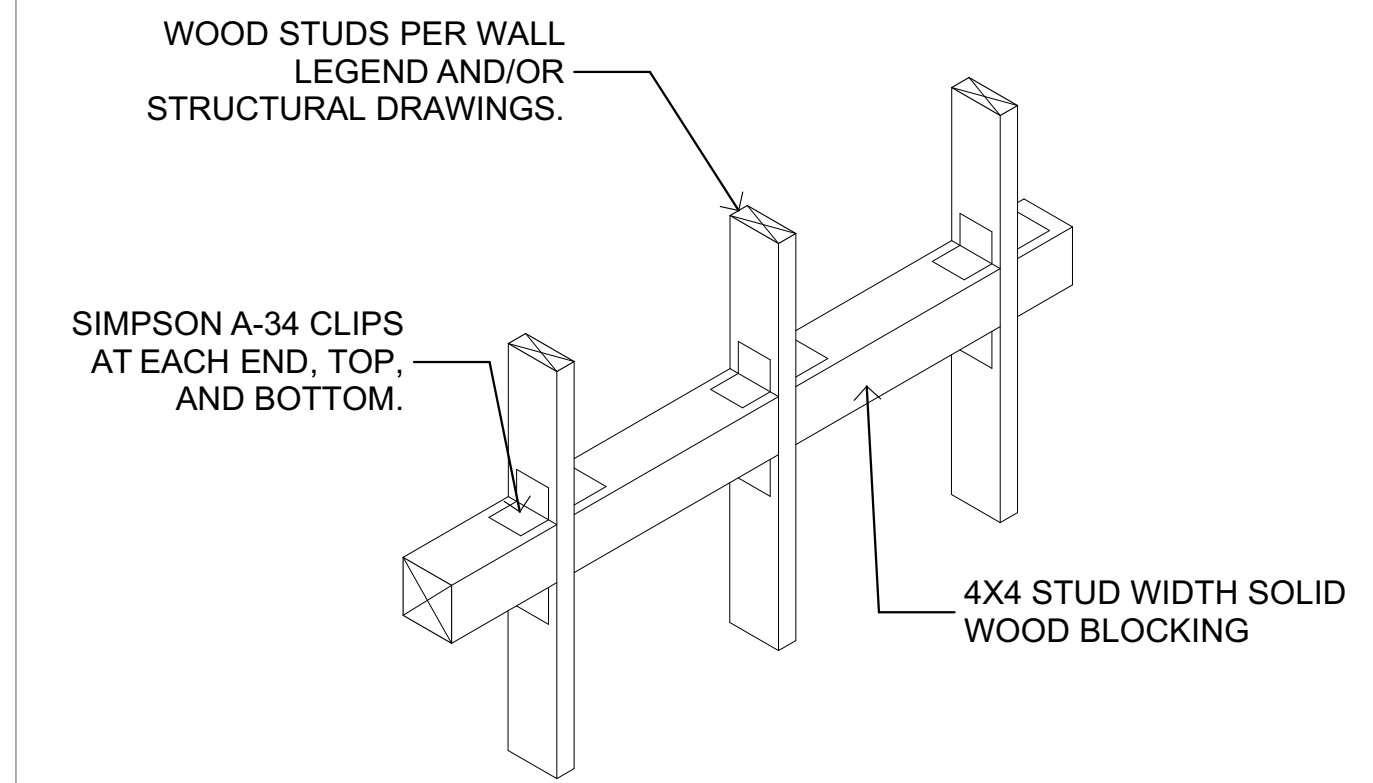
17 PARTITION AT FLOOR
SCALE: 3/4" = 1'-0"



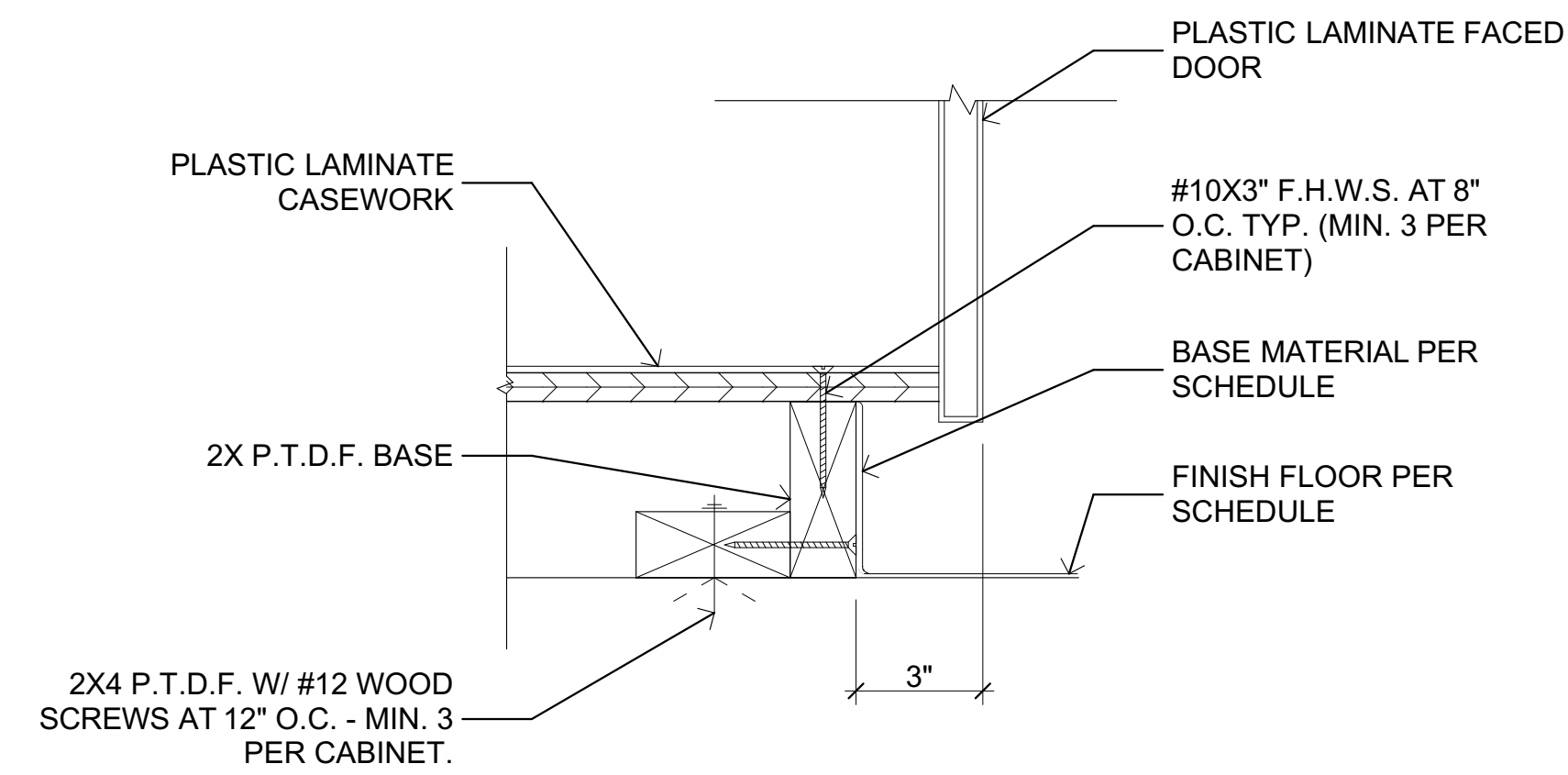
9 ACS SINK CABINET
SCALE: 1/12" = 1'-0"



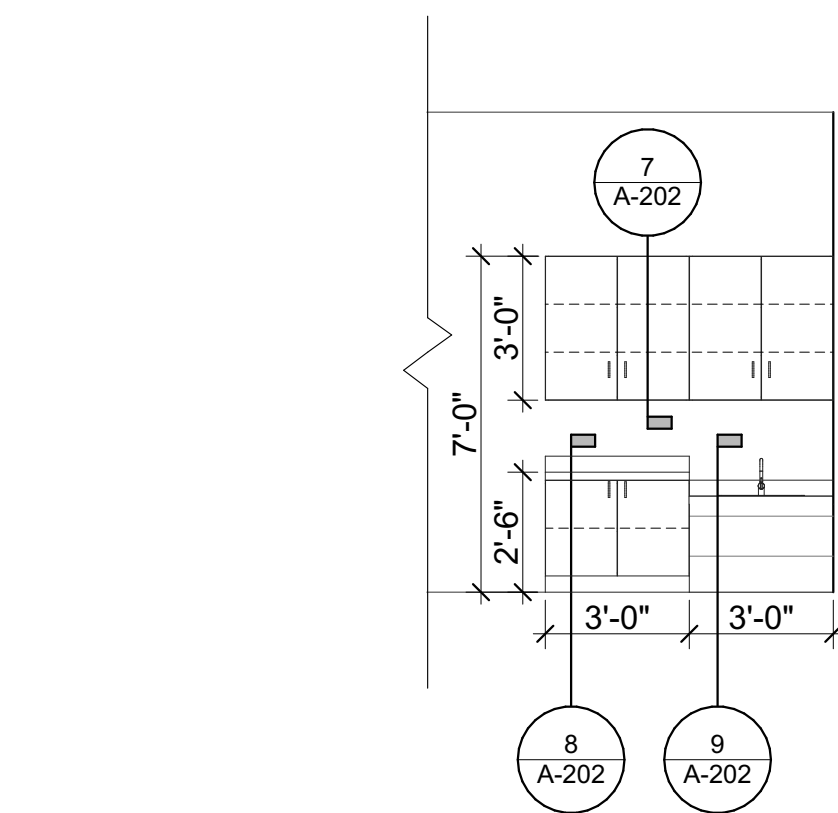
5 TYPICAL INTERIOR DOOR JAMB
SCALE: 3/4" = 1'-0"



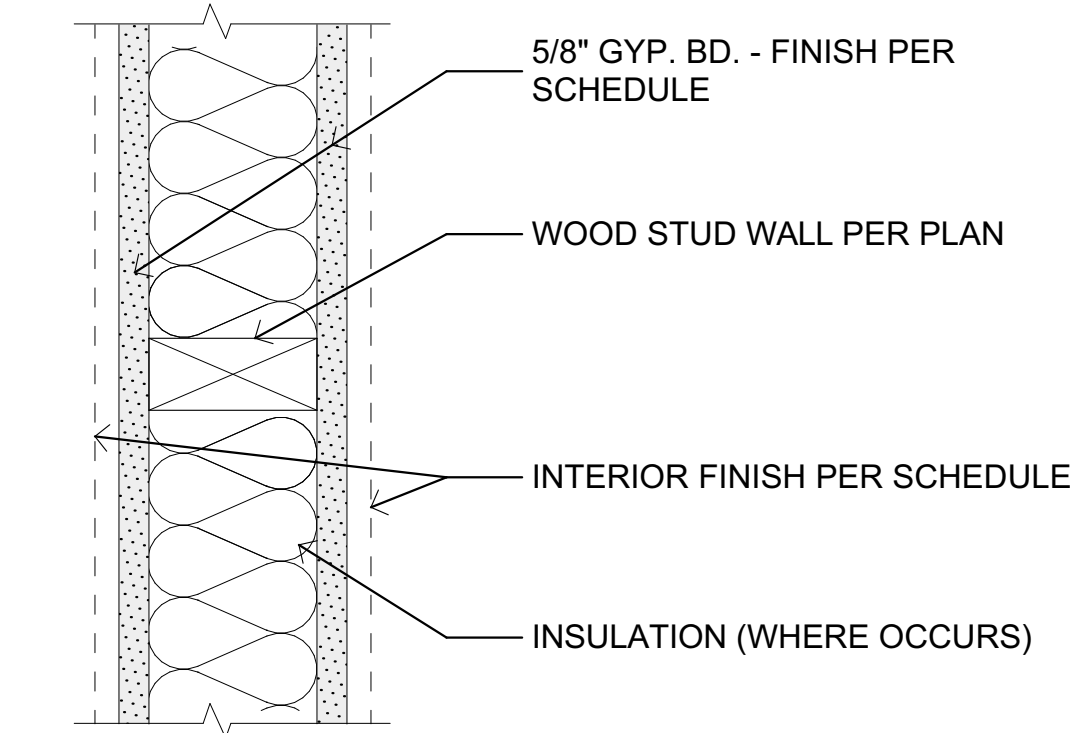
1 TYPICAL WOOD BLOCKING
SCALE: 1" = 1'-0"



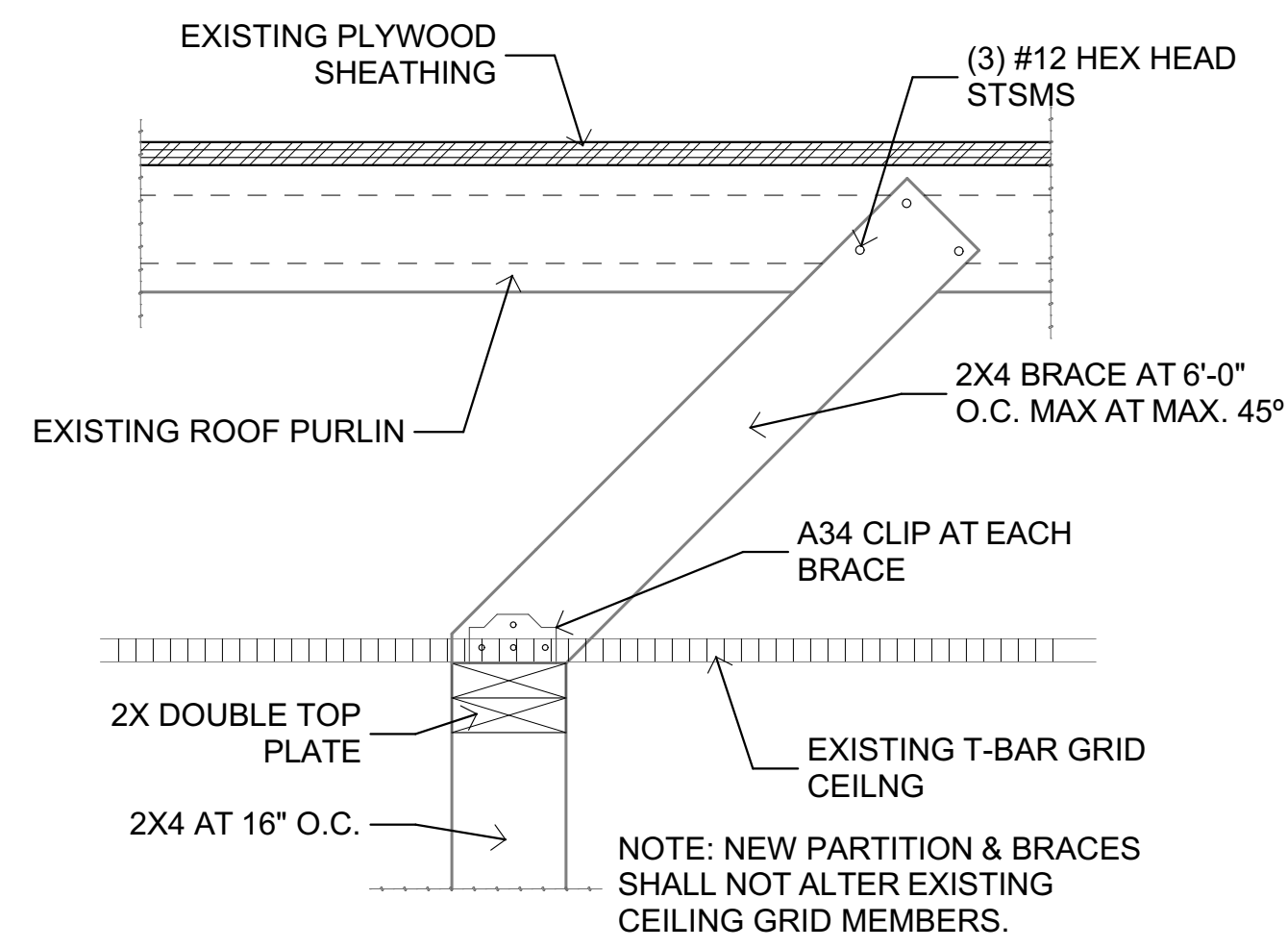
10 CASEWORK ANCHORAGE AT BASE
SCALE: 3/4" = 1'-0"



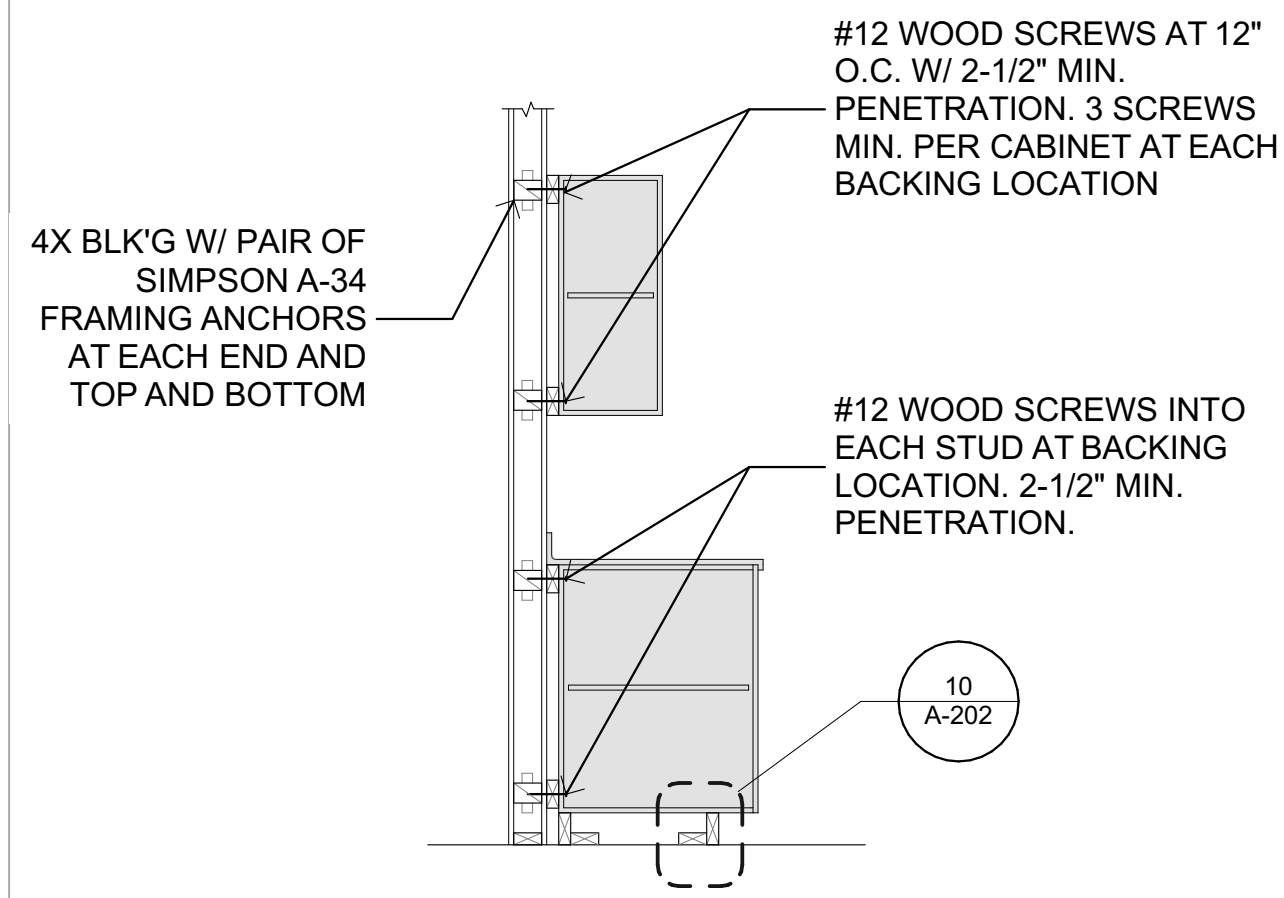
6 (N) CASEWORK ELEVATION
SCALE: 1/4" = 1'-0"



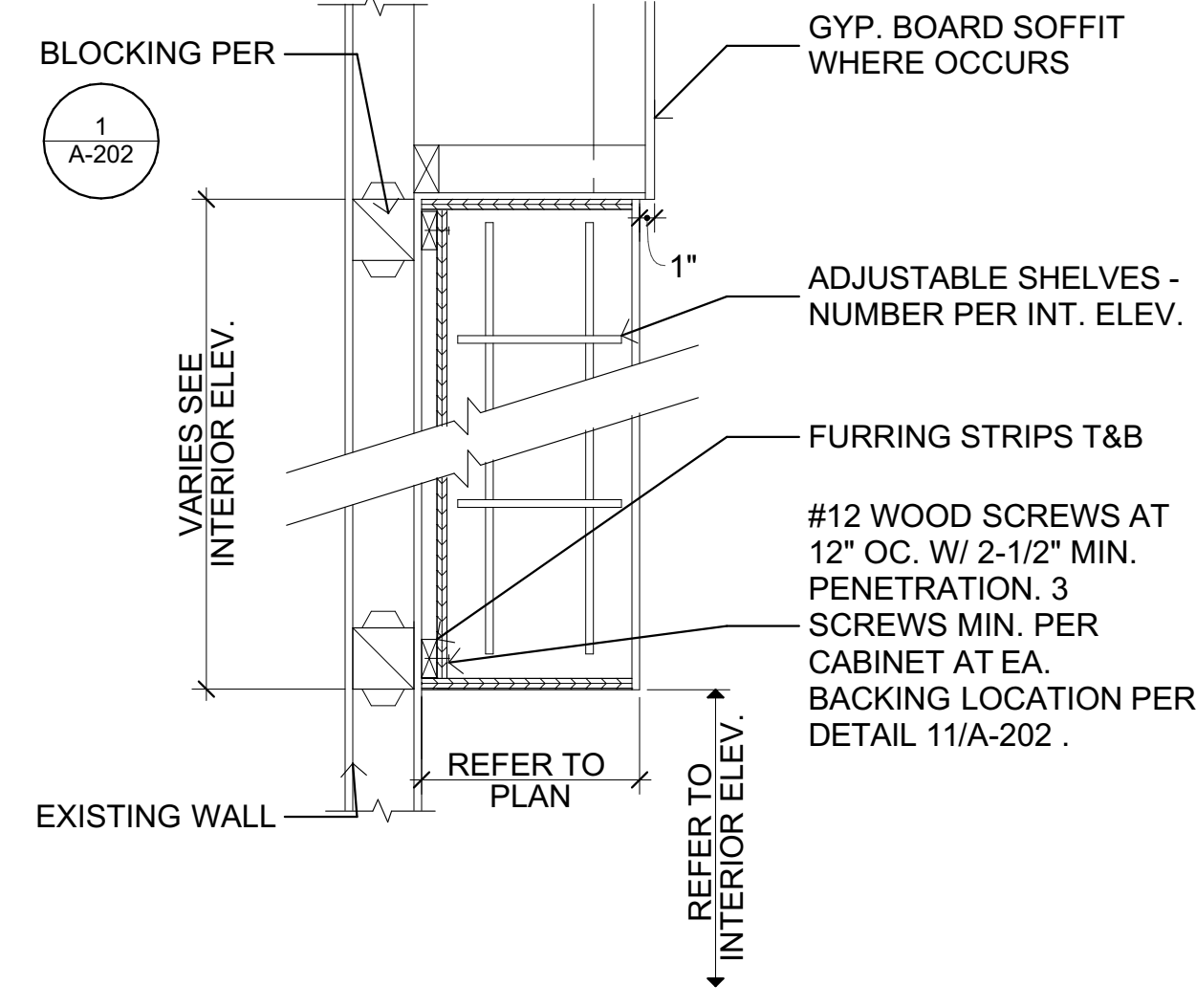
2 INT. NON-BEARING WOOD WALL
SCALE: 3/4" = 1'-0"



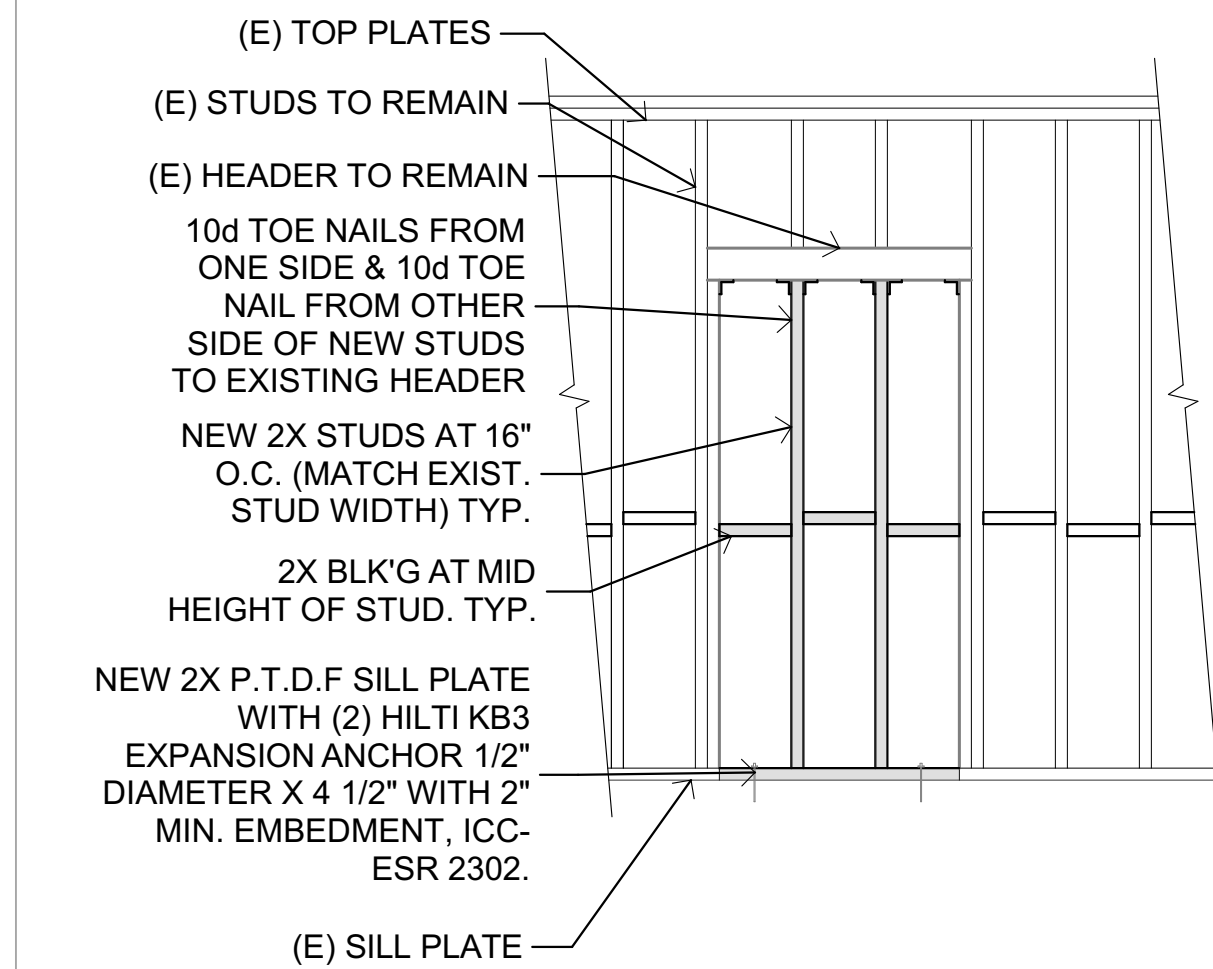
15 PERPENDICULAR PARTITION
SCALE: 1/12" = 1'-0"



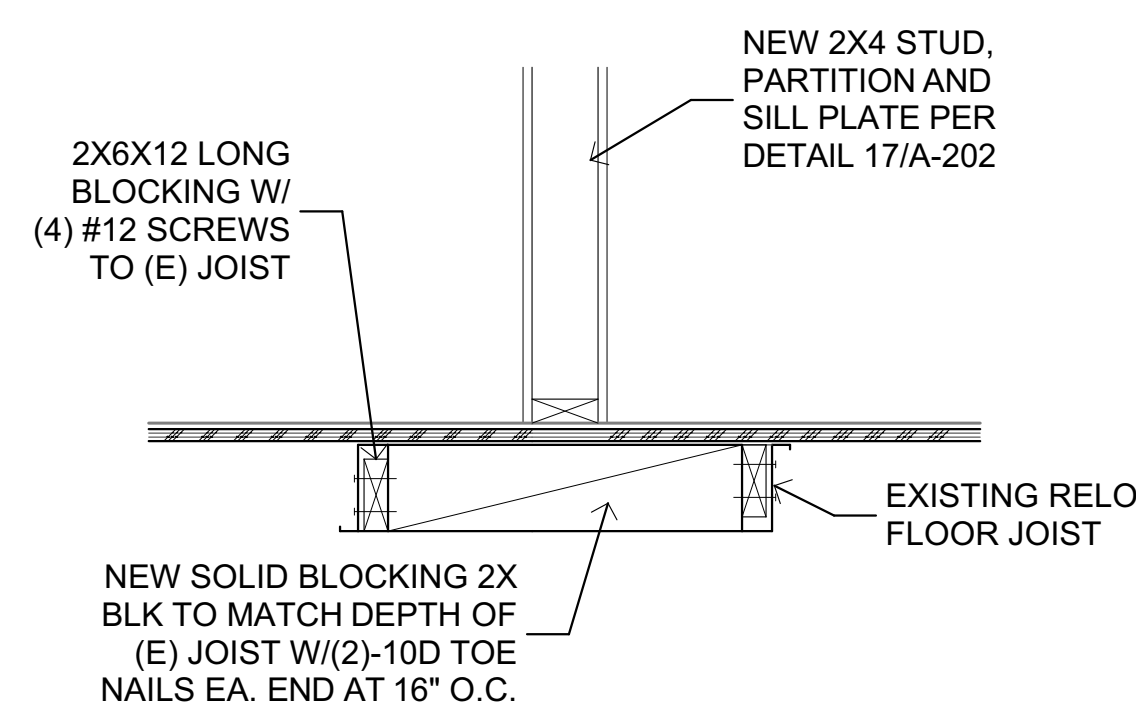
11 TYPICAL CASEWORK ANCHORAGE
SCALE: 1/2" = 1'-0"



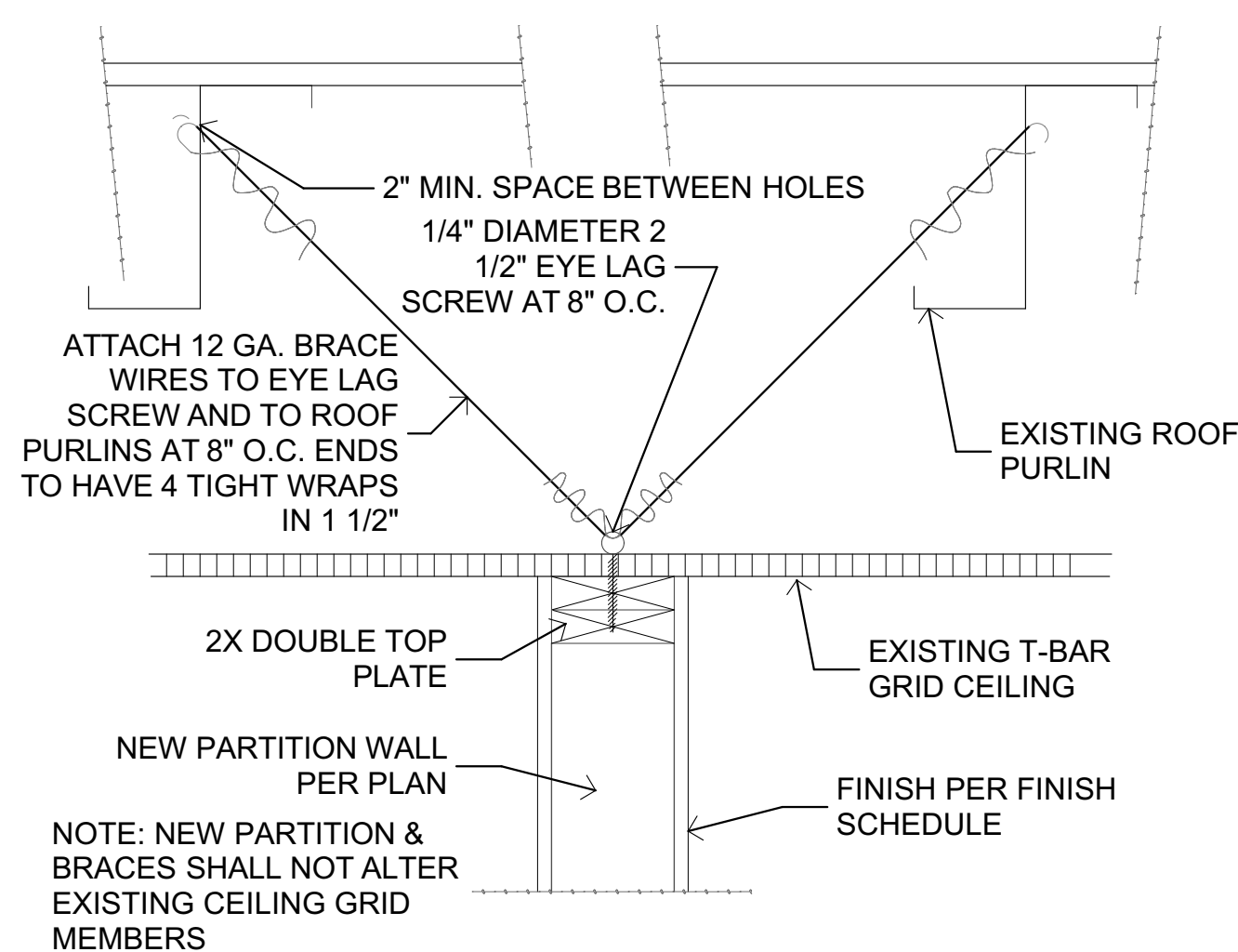
7 WALL CABINET
SCALE: 1" = 1'-0"



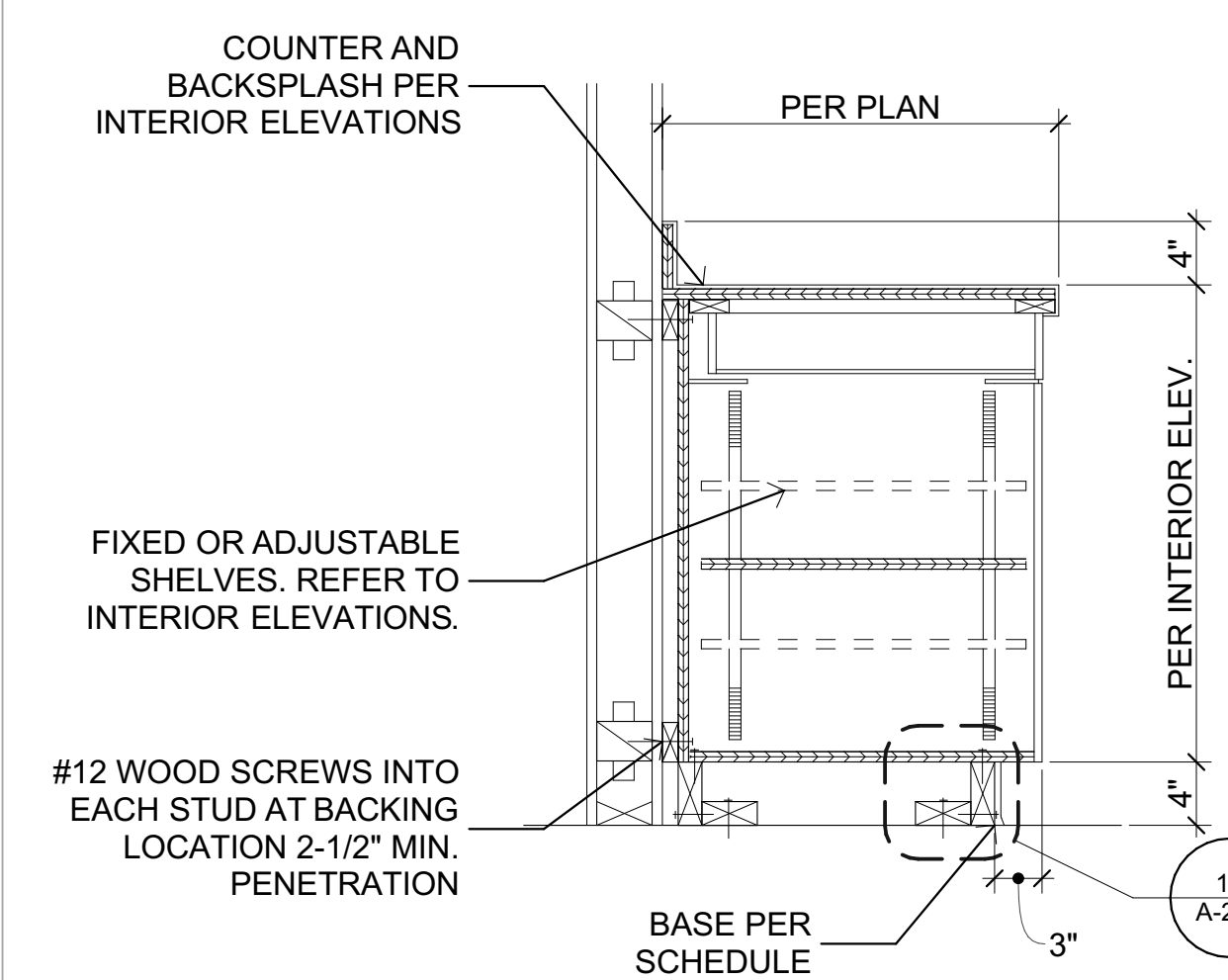
3 WALL INFILL AT DOOR
SCALE: 1/2" = 1'-0"



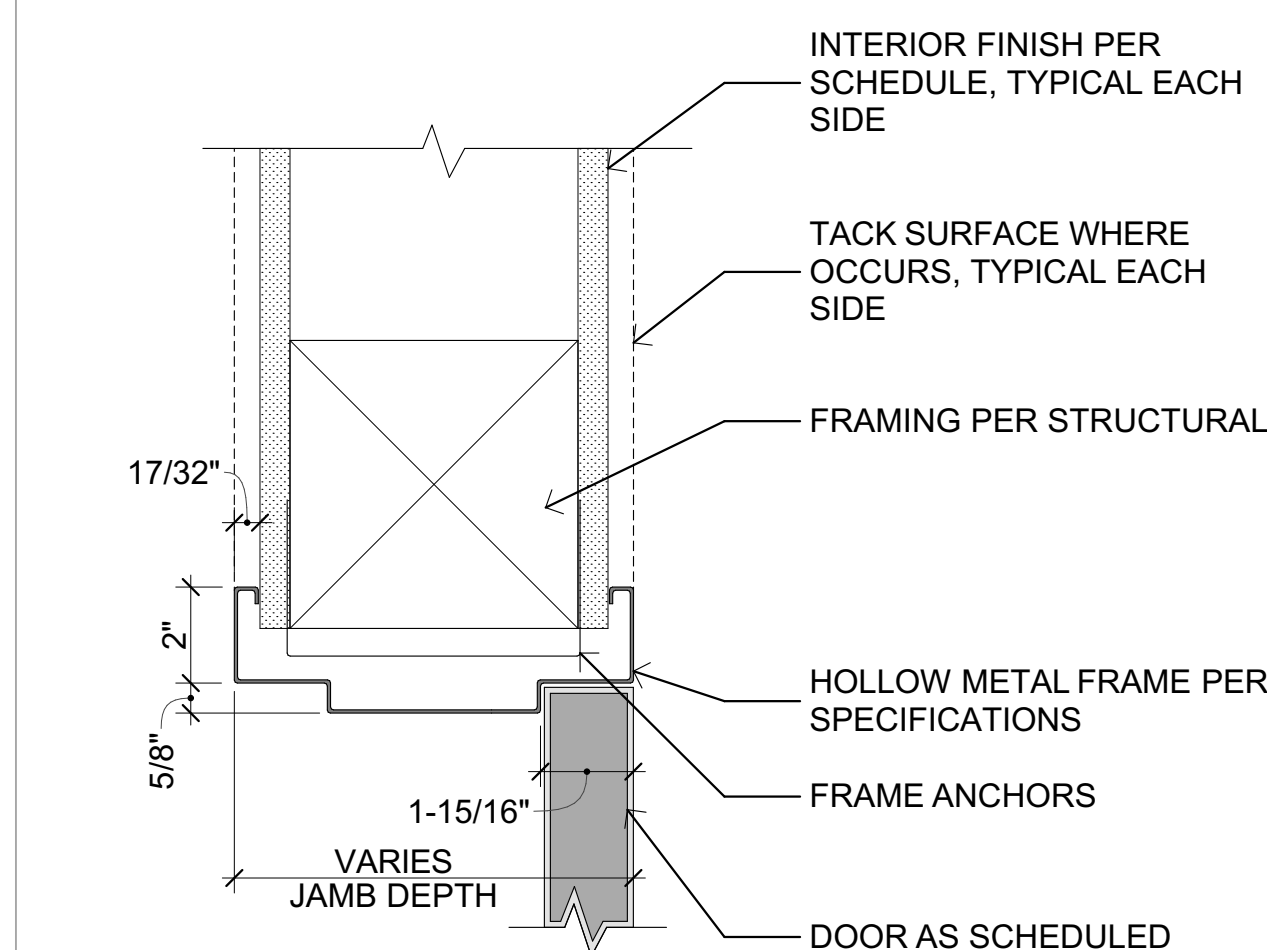
16 PARTITION FLOOR BLOCKING
SCALE: 3/4" = 1'-0"



12 PARALLEL PARTITION
SCALE: 1/12" = 1'-0"

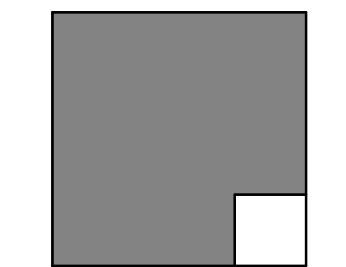


8 BASE CABINET
SCALE: 1" = 1'-0"



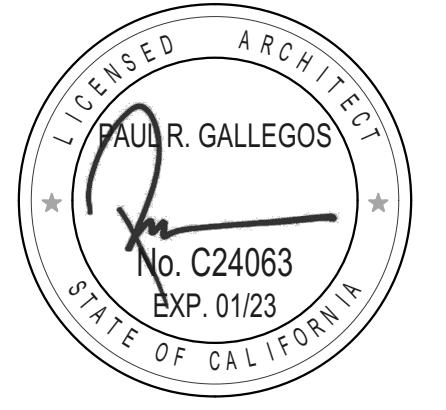
4 TYPICAL INTERIOR DOOR HEAD
SCALE: 3/4" = 1'-0"

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REVISIONS		
MARK	DATE	DESCRIPTION

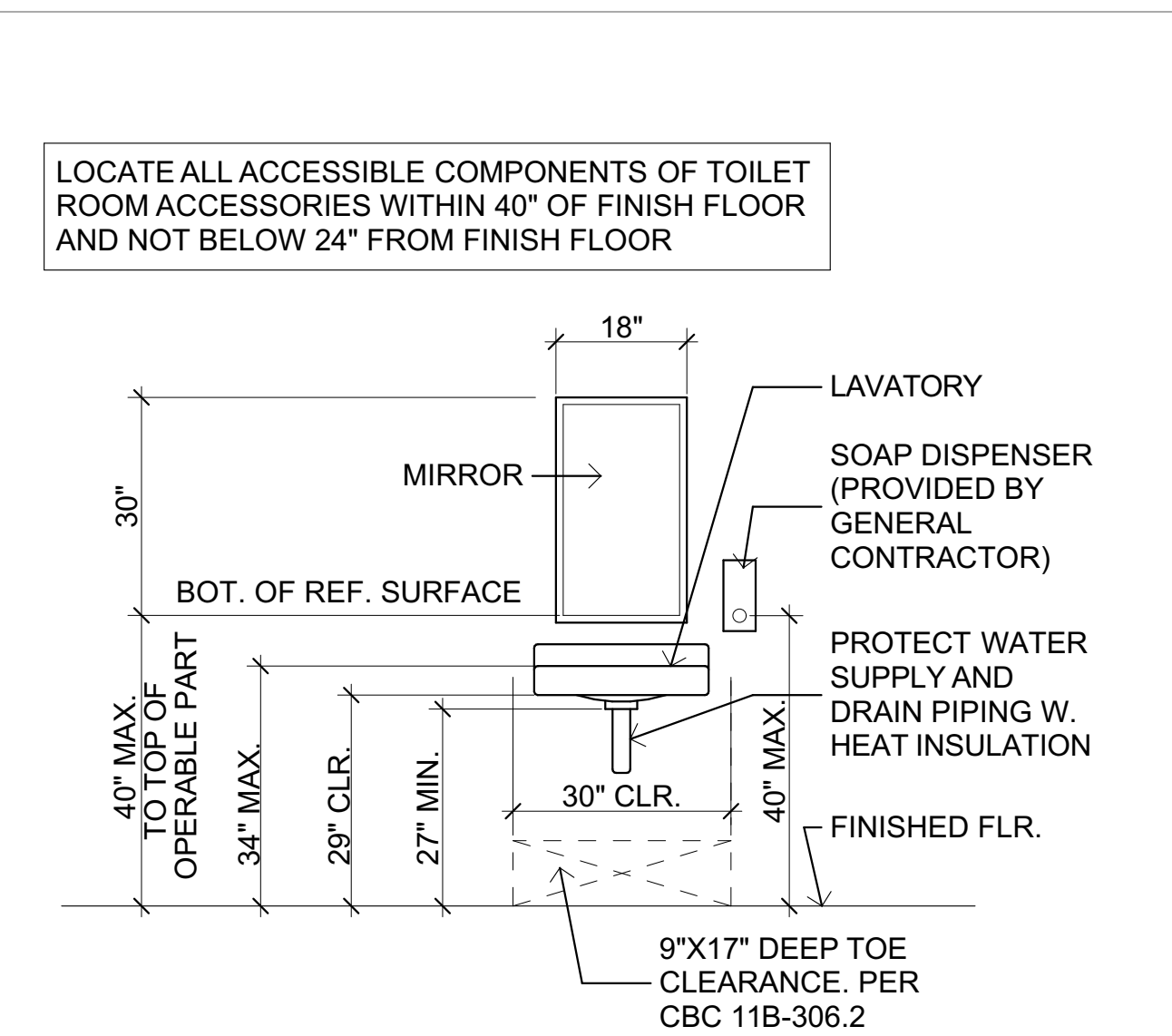
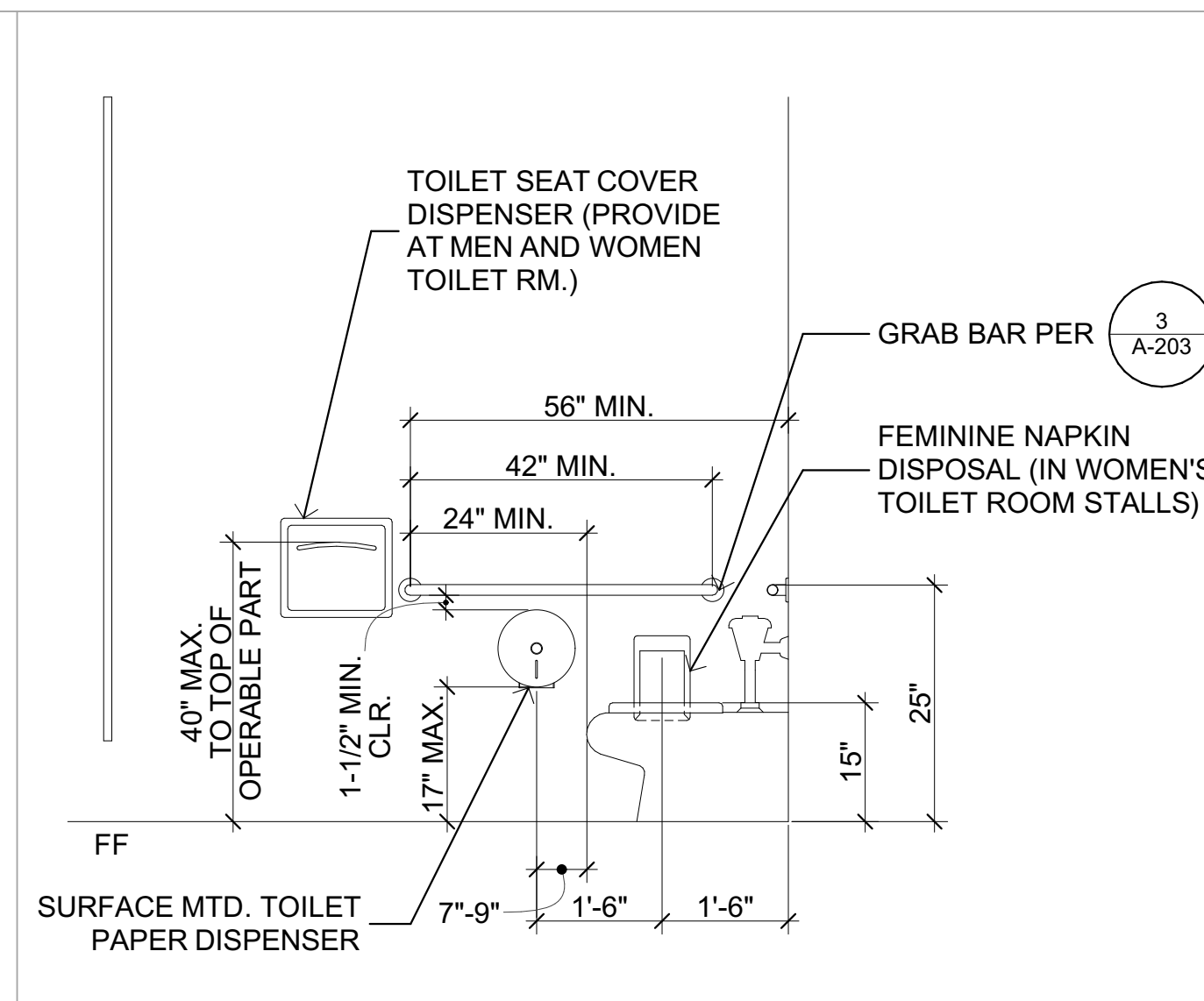
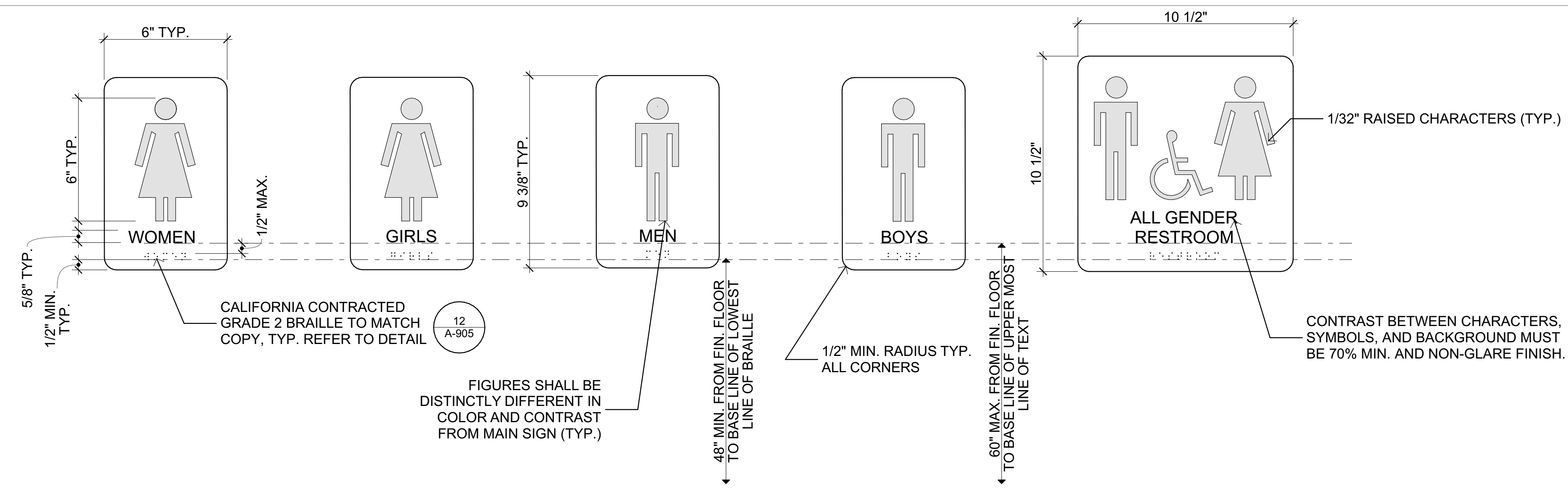
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MODEL FILE:
22-005_MELUSD Pine Valley MS Preschool.pln

PLOT DATE:
8/2/2022

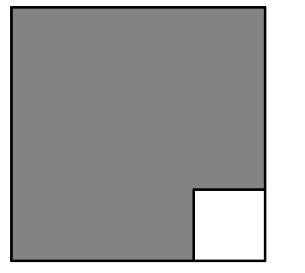
SHEET TITLE

FLOOR PLAN DETAILS

A-202

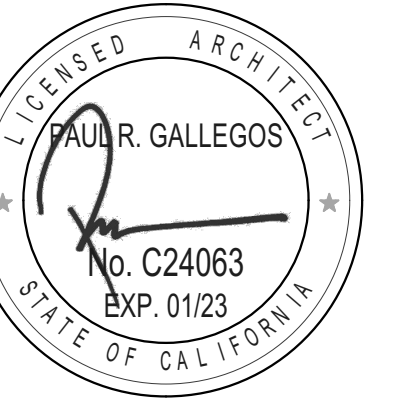


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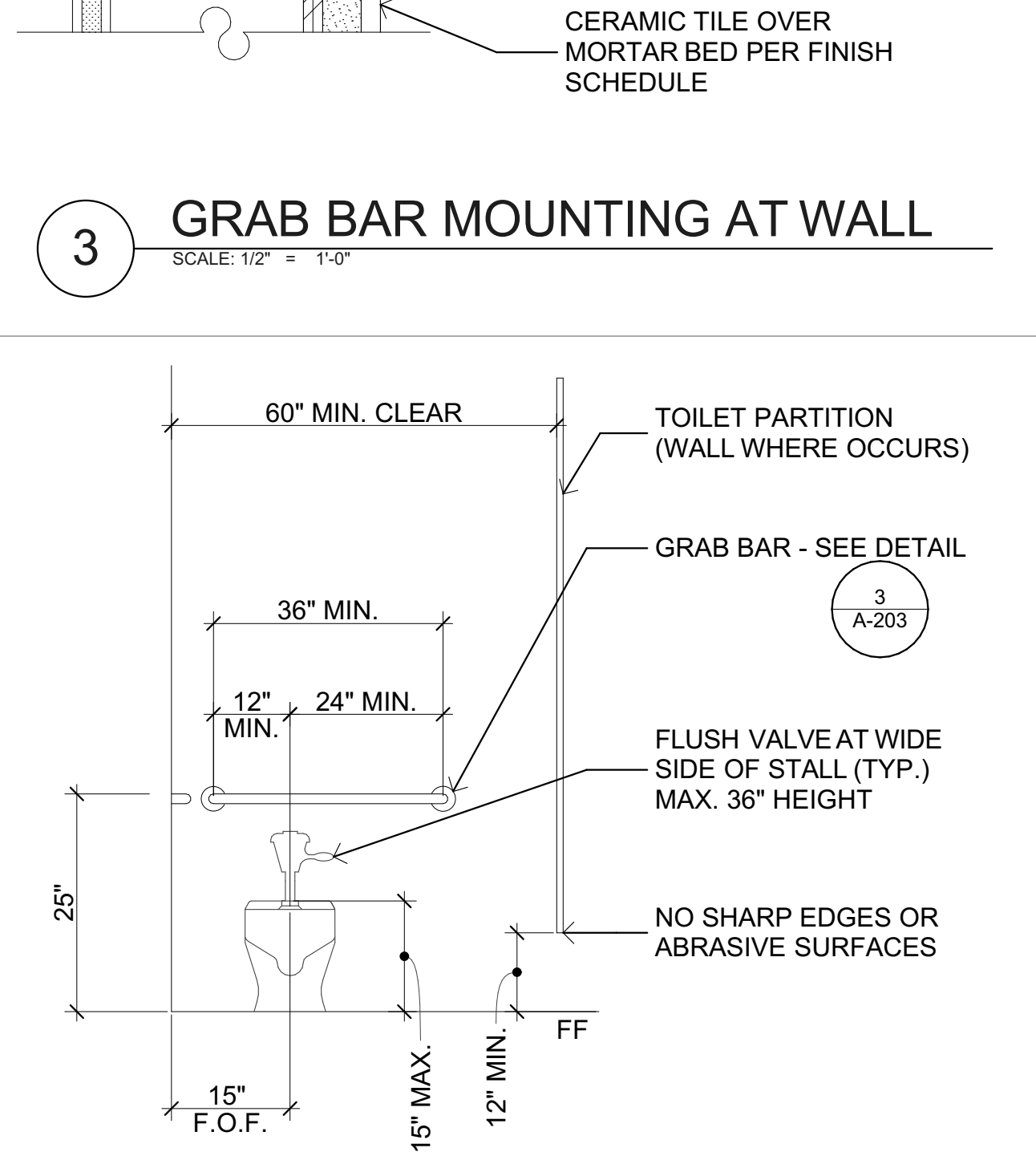
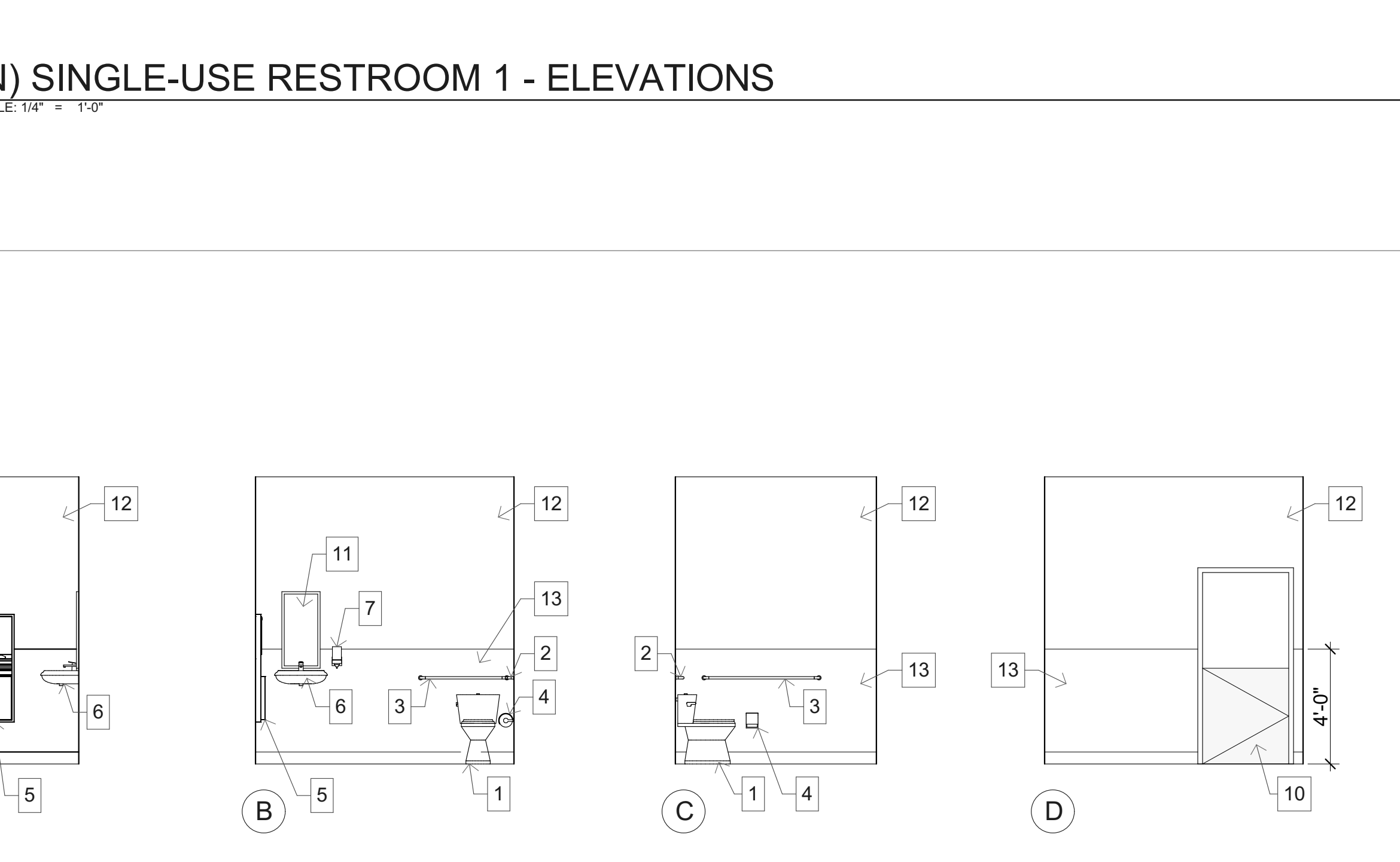
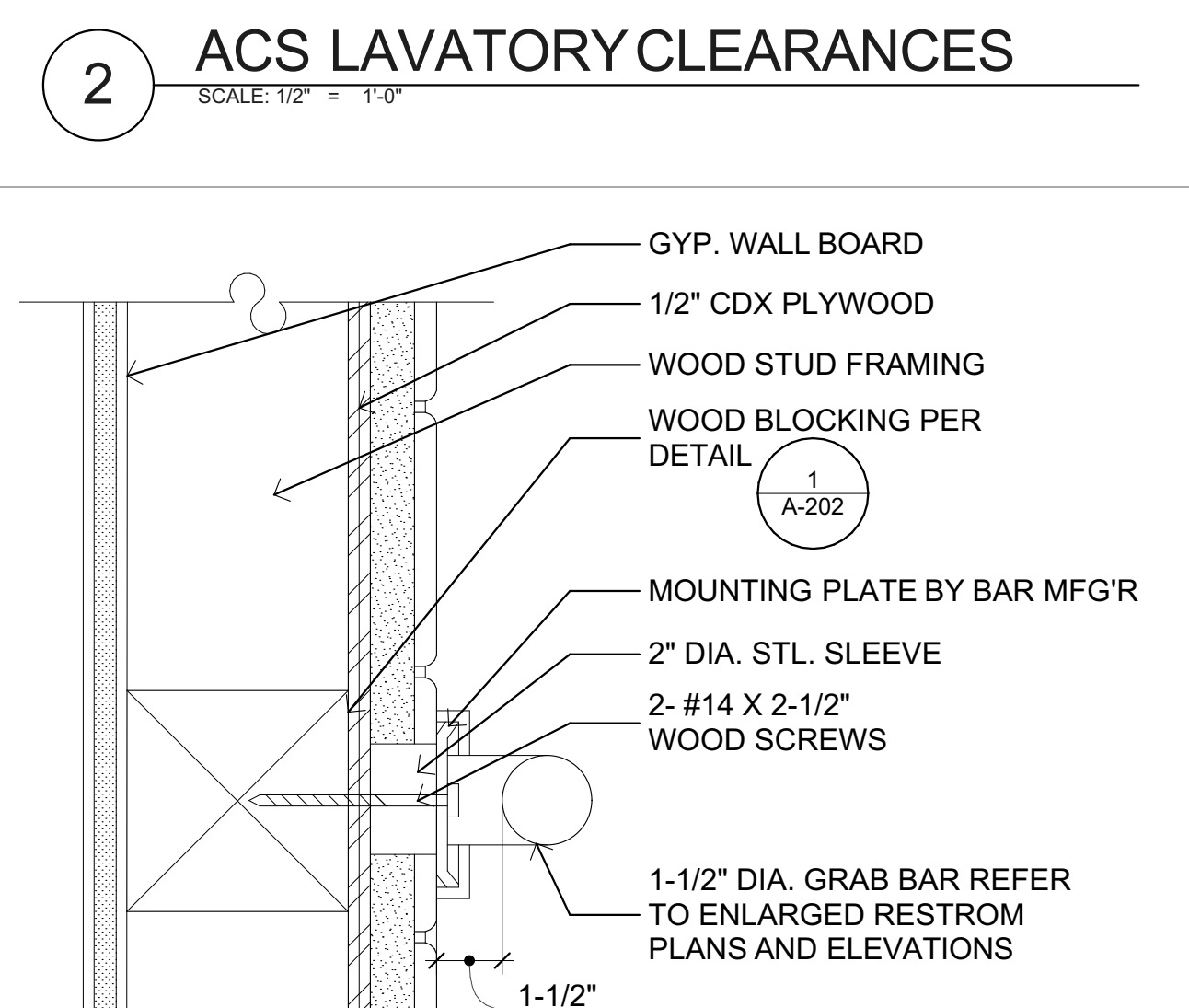
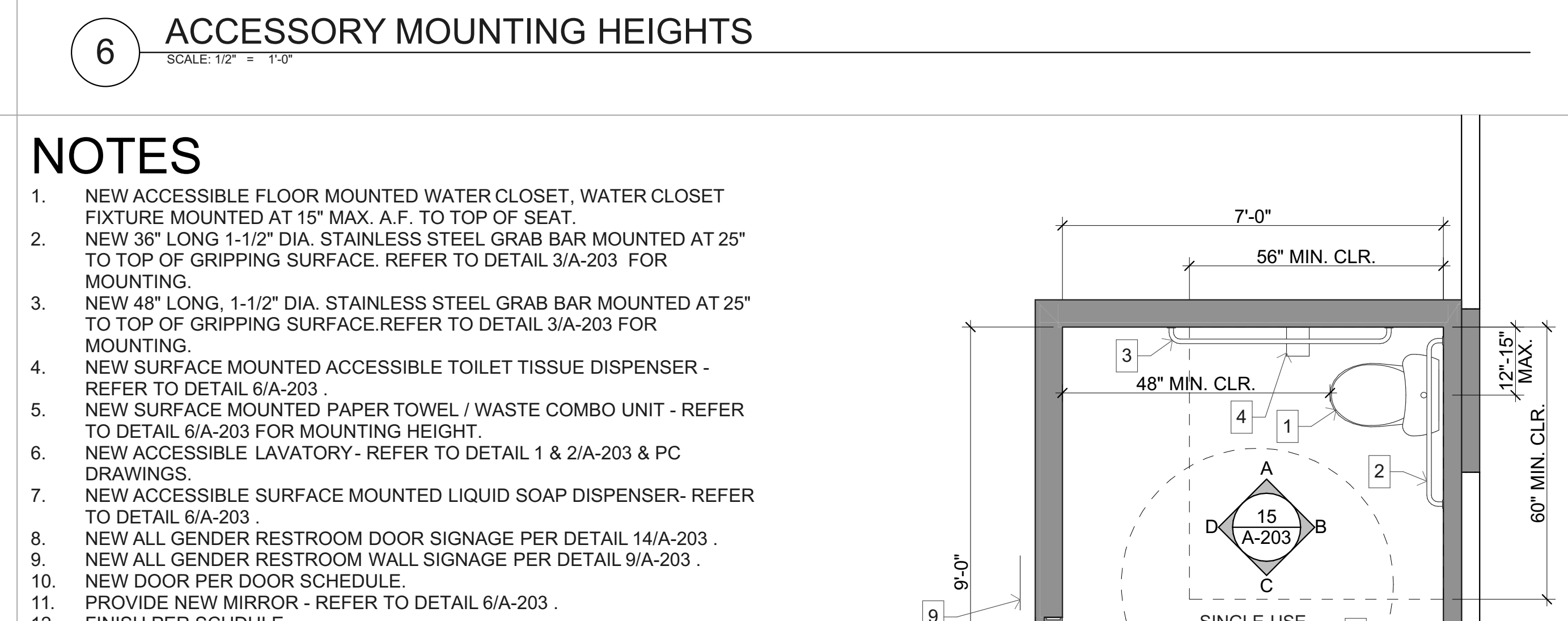
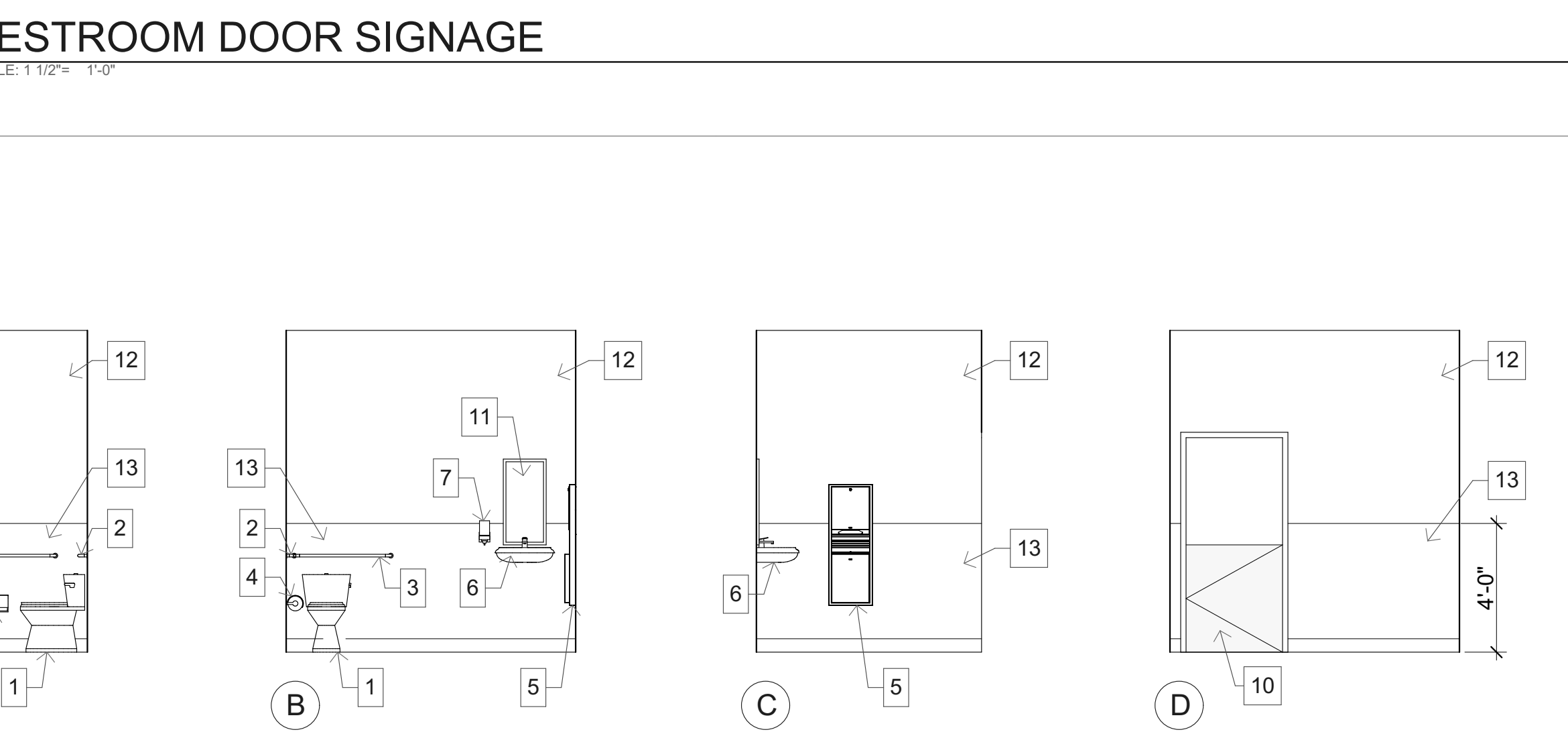
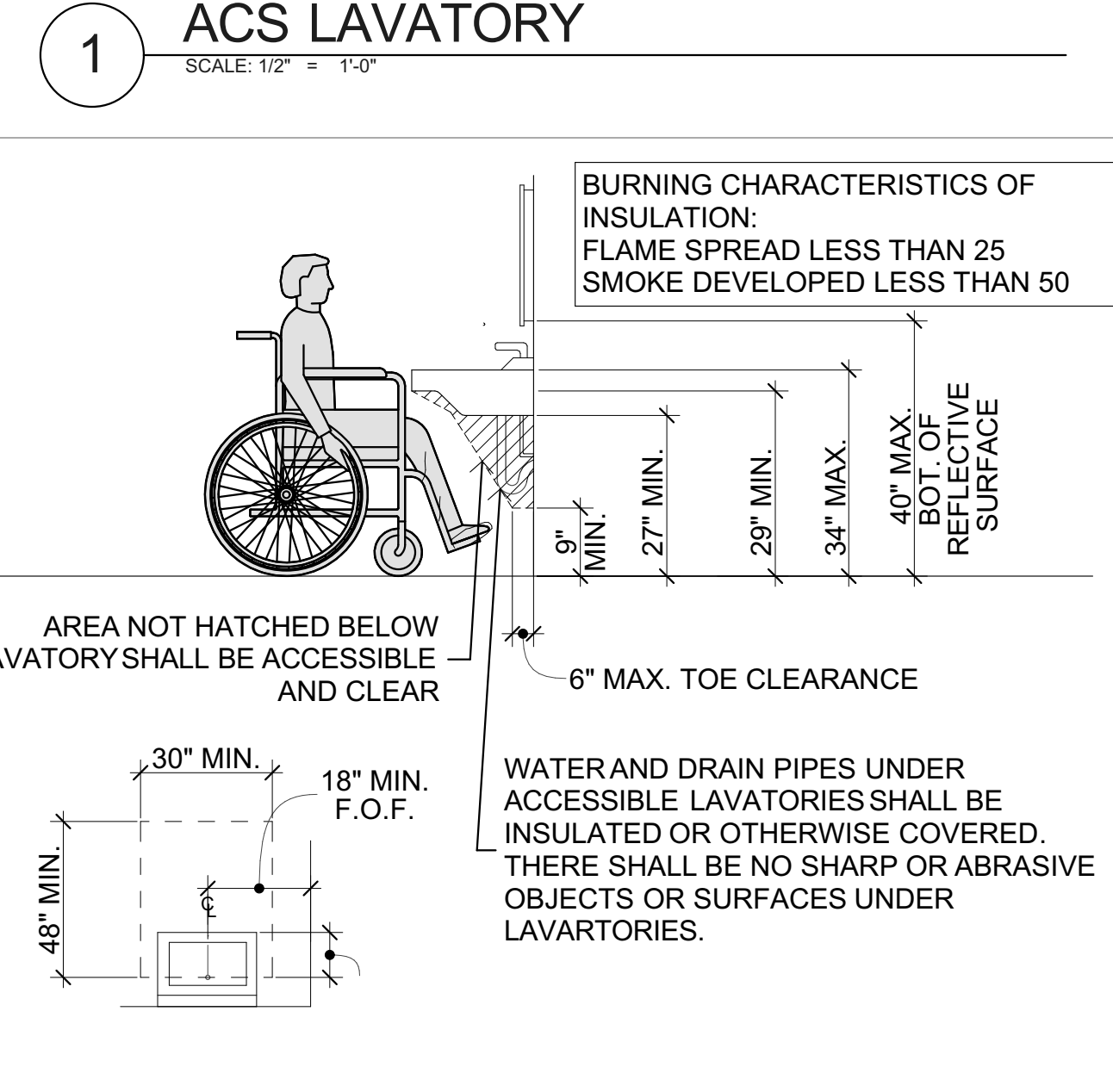
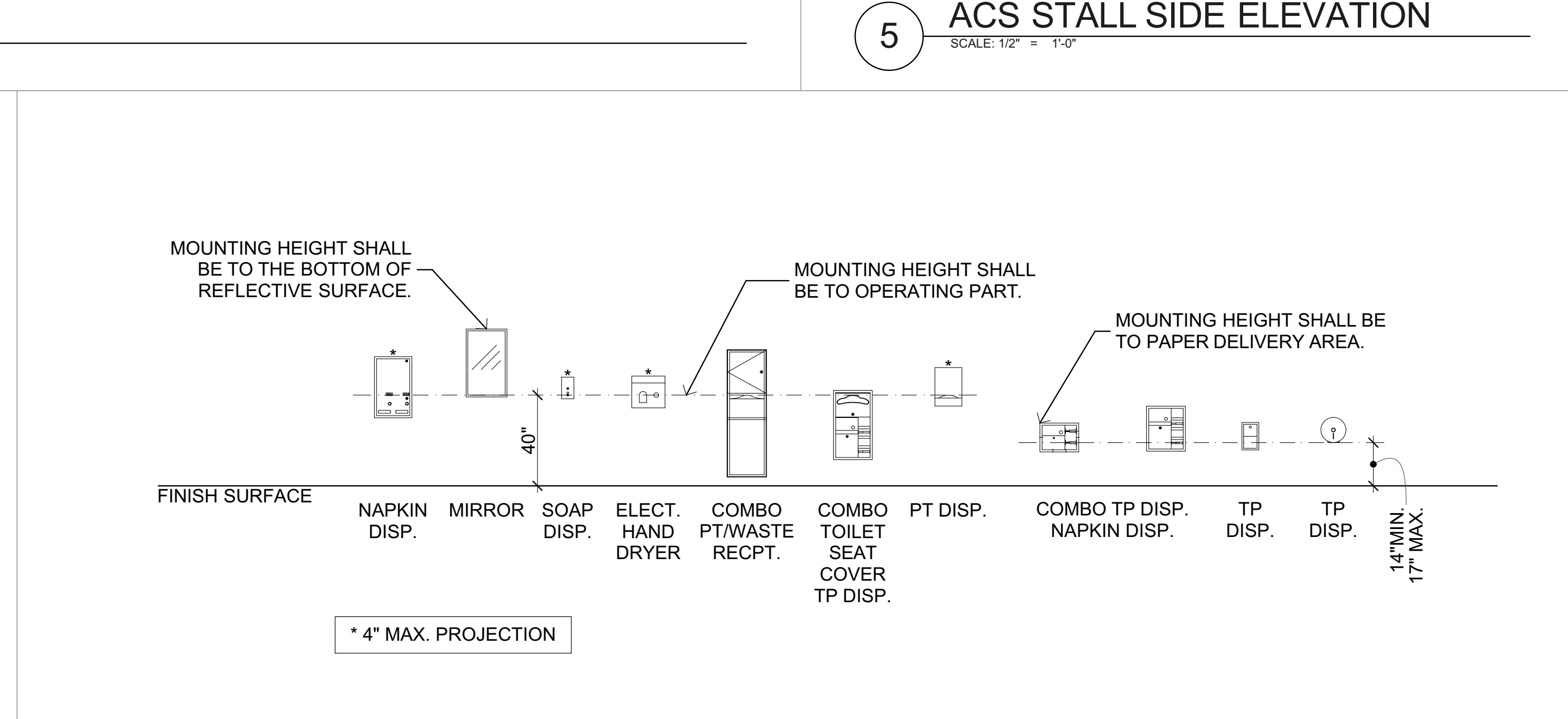
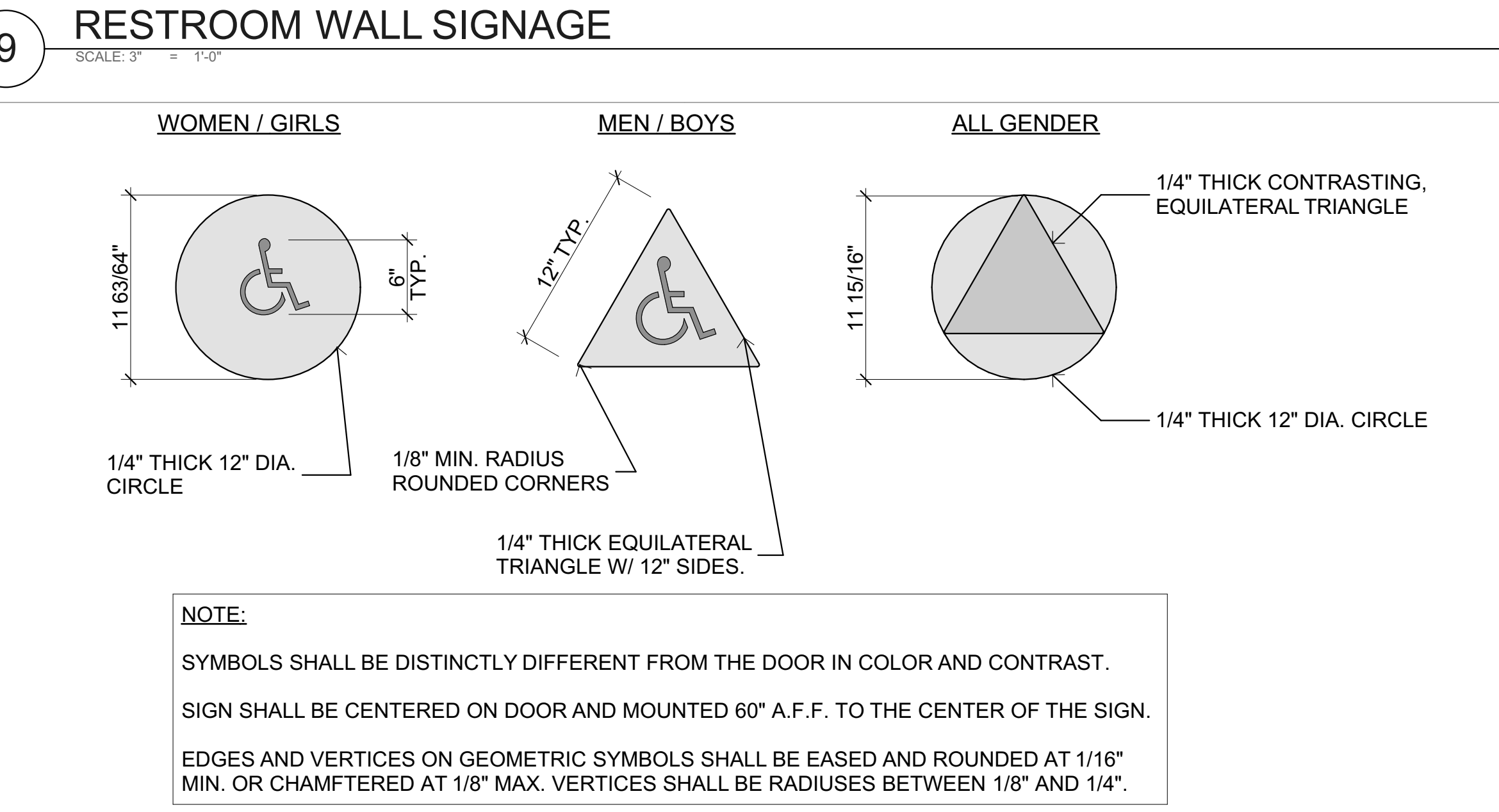


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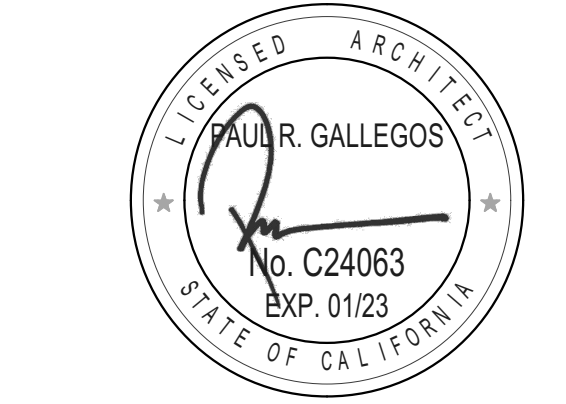
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REVISIONS

MARK	DATE	DESCRIPTION

PROJECT NO: #PIn
MODEL FILE:
22-005_MEUSD Pine Valley MS Preschool.pln
PLOT DATE:
8/2/2022

SHEET TITLE
ENLARGED RESTROOM PLANS, ELEVATIONS, & DETAILS

A-203

DOOR SCHEDULE										
ROOM NAME	DOOR ID	NOMINAL WIDTH	NOMINAL HEIGHT	LEAF THICKNESS	DOOR MATERIAL	DOOR FRAME MATERIAL	DETAIL		FIRE	REMARKS
							HEAD	JAMB		
SINGLE-USE RESTROOM 1	R01	3'-0"	3'-4"	1 3/4"	SC WOOD	HM	4/A-202	5/A-202	Unrated	1
SINGLE-USE RESTROOM 2	R02	3'-0"	3'-4"	1 3/4"	SC WOOD	HM	4/A-202	5/A-202	Unrated	1

GENERAL DOOR NOTES

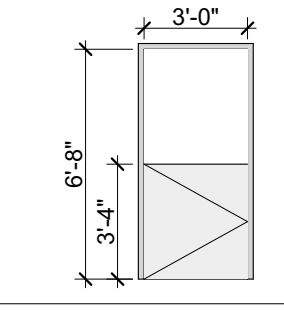
- THE ARCHITECT AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING REQUIRED DOOR AND FRAME DIMENSIONS AND HARDWARE MOUNTING HEIGHTS IN FIELD PRIOR TO ORDERING AND INSTALLING NEW MATERIAL.
- ALL HARWARE INDICATED IN SCHEDULE SHALL BE PROVIDED FOR DOORS. HARDWARE SHALL MEET THE REQUIREMENTS OF CBC 11B-404.2.7.
- DOOR JAMB AND HEAD CONDITIONS ARE DETAILED FOR THE MOST TYPICAL CONDITION. SIMILAR CONDITIONS MAY OCCUR AND SHALL BE TREATED IN A SIMILAR MANNER.
- DOORS/DOORWAYS AS PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH CBC SECTIONS 11B-404.
- THE CLEAR OPENING WIDTH FOR A DOOR SHALL BE 32" MINIMUM. FOR A SWINGING DOOR IT SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES. THERE SHALL BE NO PROJECTIONS INTO IT BELOW 34" AND 4" MAXIMUM PROJECTIONS INTO IT BETWEEN 34" AND 80" ABOVE THE FINISH FLOOR OR GROUND. CBC SECTION 11B-404.2.3
- HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL COMPLY WITH CBC SECTION 11B-309.4 AND SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34" MINIMUM AND 44" MAXIMUM ABOVE FINISH FLOOR OR GROUND. WHERE SLIDING DOORS ARE IN THE FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. CBC SECTION 11B-404.2.7
- THE FORCE FOR PUSHING OR PULLING OPEN A DOOR SHALL BE AS FOLLOWS: CBC SECTION 11B-404.2.9
 -INTERIOR HINGED DOORS, SLIDING OR FOLDING DOORS, AND EXTERIOR HINGED DOORS: 5 POUNDS (22.2 N) MAXIMUM. REQUIRED FIRE DOORS: THE MINIMUM OPENING FORCE ALLOWABLE BY THE DSA AUTHORITY, NOT TO EXCEED 15 POUNDS (66.7 N). THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGED OTHER DEVICES THAT HOLD THE DOOR IN A CLOSED POSITION.
 -THE FORCE REQUIRED FOR ACTIVATING ANY OPERABLE PARTS, SUCH AS LEVER HARDWARE, OR DISENGAGING OTHER DEVICES SHALL BE 5 POUNDS (22.2 N) MAXIMUM TO COMPLY WITH CBC SECTION 11B-309.4
- DOOR CLOSING SPEED SHALL BE AS FOLLOWS: CBC SECTION 11B-404.2.8
 -CLOSER SHALL BE ADJUSTED SO THAT THE REQUIRED TIME TO MOVE A DOOR FROM AN OPEN POSITION OF 90 DEGREES TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM.
 -SPRING HINGES SHALL BE ADJUSTED SO THAT THE REQUIRED TIME TO MOVE A DOOR FROM AND OPEN POSITION OF 70 DEGREES TO THE CLOSED POSITION IS 1.5 SECONDS MINIMUM.
 -THRESHOLDS SHALL COMPLY WITH CBC SECTION 11B-404.2.5
- FLOOR STOPS SHALL NOT BE LOCATED IN THE PATH OF TRAVEL AND 4" MAXIMUM FROM WALLS.

DOOR SCHEUDLE REMARKS

- 3'-4" HALF-HEIGHT DOOR IN 6'-8" HIGH FRAME.

DOOR HARDWARE

2 EA	HINGE	IVES 5BB 4.5 X 4.5	652 FINISH
1 EA	PASSAGE LATCHSET	SCHLAGE ND10S-RHO	626 FINISH
1 EA	WALL STOP	IVES WS406	530 FINISH

DOOR LEGEND	
ELEVATION	
NOMINAL SIZE (W X H)	3'-0" x 3'-4"
QUANTITY	2
REMARKS	1

FINISH SCHEDULE											
NAME	FLOOR	BASE	WALLS				CEILING			REMARKS	
			ELEV. 1	ELEV. 2	ELEV. 3	ELEV. 4	WAINSCOT	MAT.	HEIGHT		
CLASSROOM		B2	W1, FN1*								*All new walls only.
SINGLE-USE RESTROOM 1	F1	B3	W2, FN1	W2, FN1	W2, FN1	W2, FN1	WT1				
SINGLE-USE RESTROOM 2	F1	B3	W2, FN1	W2, FN1	W2, FN1	W2, FN1	WT1				

ROOM FINISH LEGEND			
FLOOR	F1	SHEET VINYL FLOORING	W1 GYPSUM DRYWALL - 5/8"
	F2	TILE FLOORING	W2 WATER RESISTANT GYP. BRD.
CEILINGS	C1	ACOUSTICAL TILE CEILING (2X4)	WT1 FIBER REINFORCED PANELS
	C2	5/8" GYPSUM BOARD	
FINISHES	FN1	PAINTED - SEMI-GLOSS	B1 NONE
			B2 RUBBER WALL BASE
			B3 INTEGRAL COVE BASE

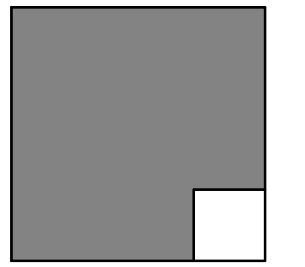
GENERAL NOTES

- ALL FINISHES SHALL BE IN COMPLIANCE WITH CCR, TITLE 19, 2019 CBC & 2019 CALIFORNIA FIRE CODE
- INTERIOR FINISH DECORATIVE MATERIALS AND FURNISHINGS SHALL COMPLY WITH 2019 C.F.C. SECTION 807.4.2 FOR GROUP 'A' OCCUPANCIES AND SECTION 807.4.3 FOR GROUP 'E' OCCUPANCIES

FINISH NOTES

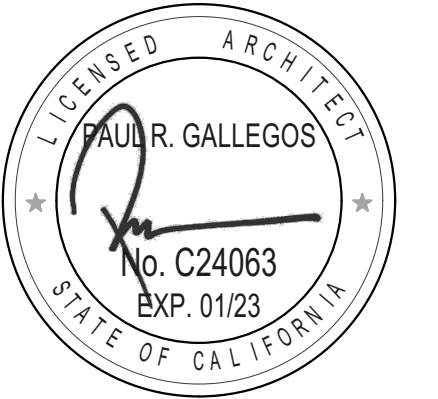
- 4'-0" HIGH FIBER REINFORCED PANELS (FRP) TO BE INSTALLED AT ALL WLS OF TOILET ROOMS.

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REVISIONS		
MARK	DATE	DESCRIPTION

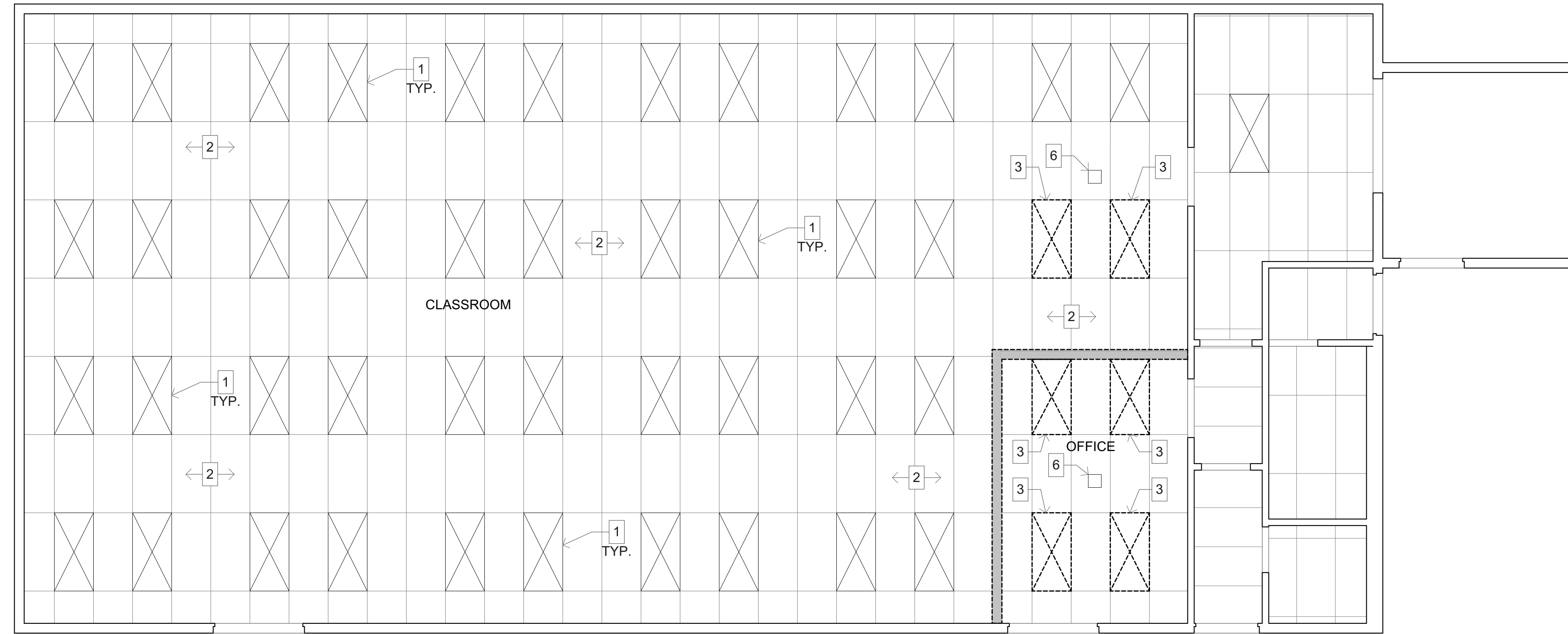
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MODEL FILE:
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PLOT DATE:
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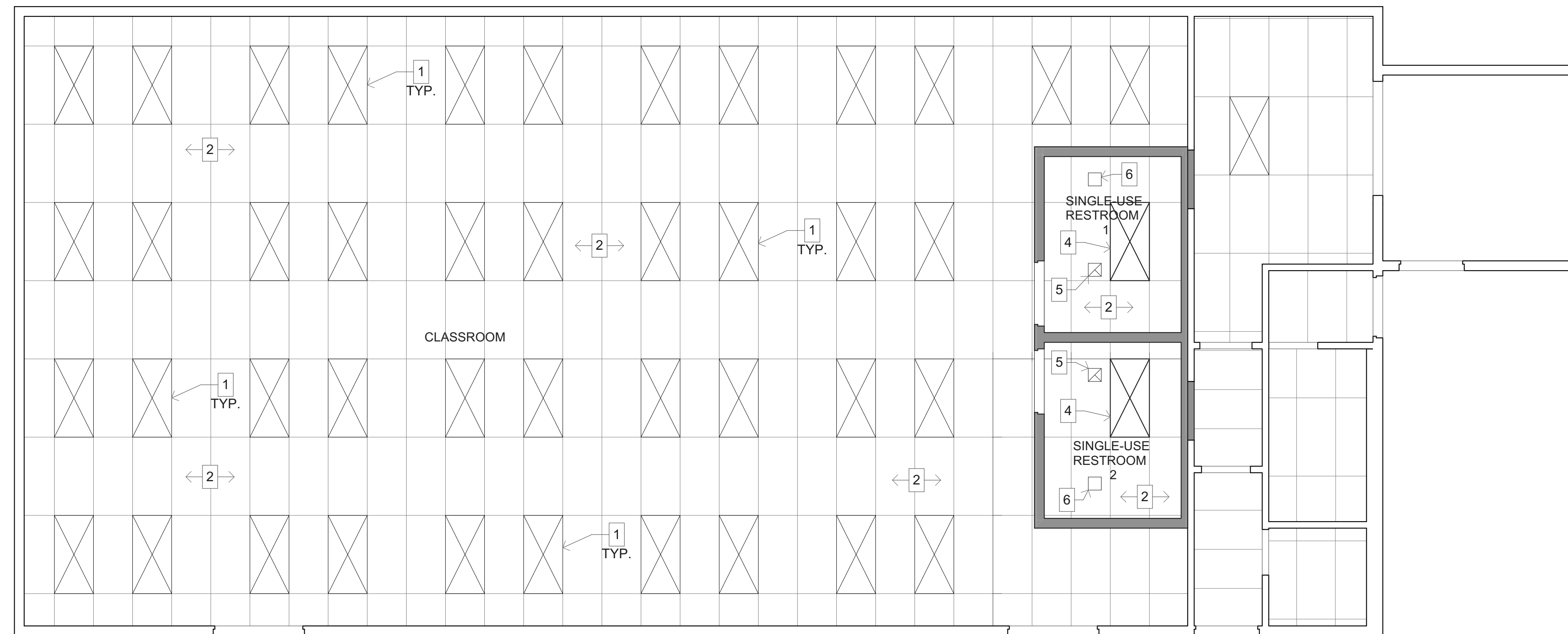
SHEET TITLE

DOOR AND FINISH
SCHEDULE

A-204



1 DEMOLITION REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

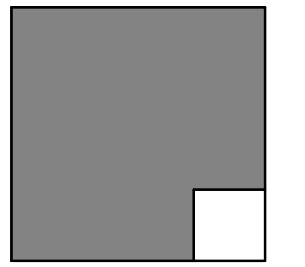


2 NEW WORK REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

NOTES

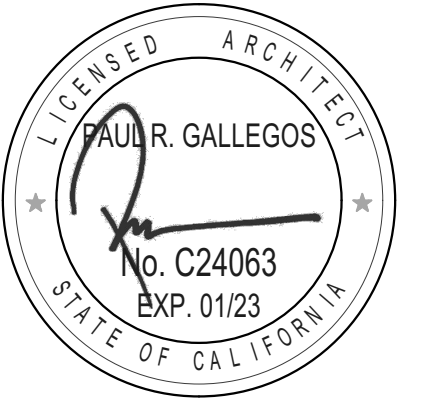
1. EXISTING LIGHT FIXTURE TO REMAIN.
2. EXISTING CEILING TILES TO REMAIN.
3. DEMO AND REMOVE EXISTING LIGHT FIXTURE.
4. NEW LIGHT FIXTURE PER ELECTRICAL DRAWINGS.
5. NEW EXHAUST FAN PER MECHANICAL DRAWINGS.
6. EXISTING HVAC DIFFUSER TO REMAIN.

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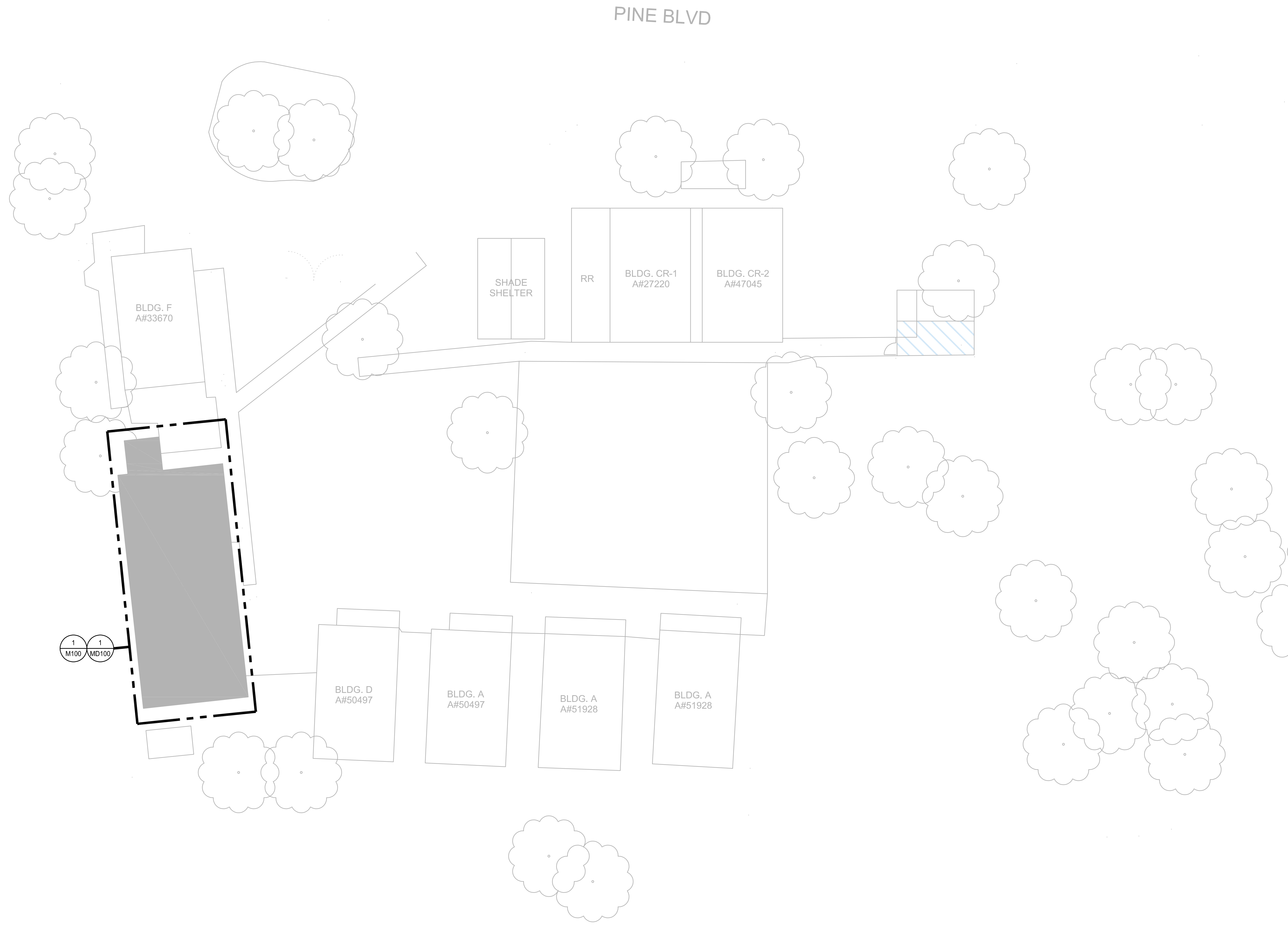
PROJECT NO: #PIn
MODEL FILE:
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SHEET TITLE

REFLECTED CEILING
PLANS

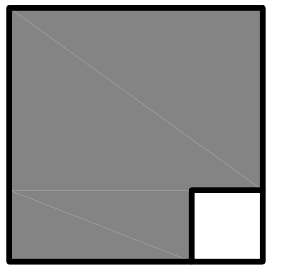
A-701



MECHANICAL OVERALL SITE PLAN

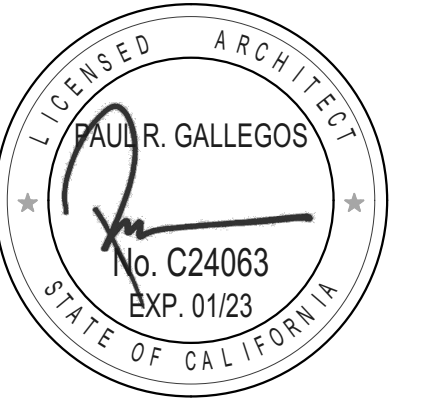
SCALE: 1/16"=1'-0"

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MARK	DATE	DESCRIPTION

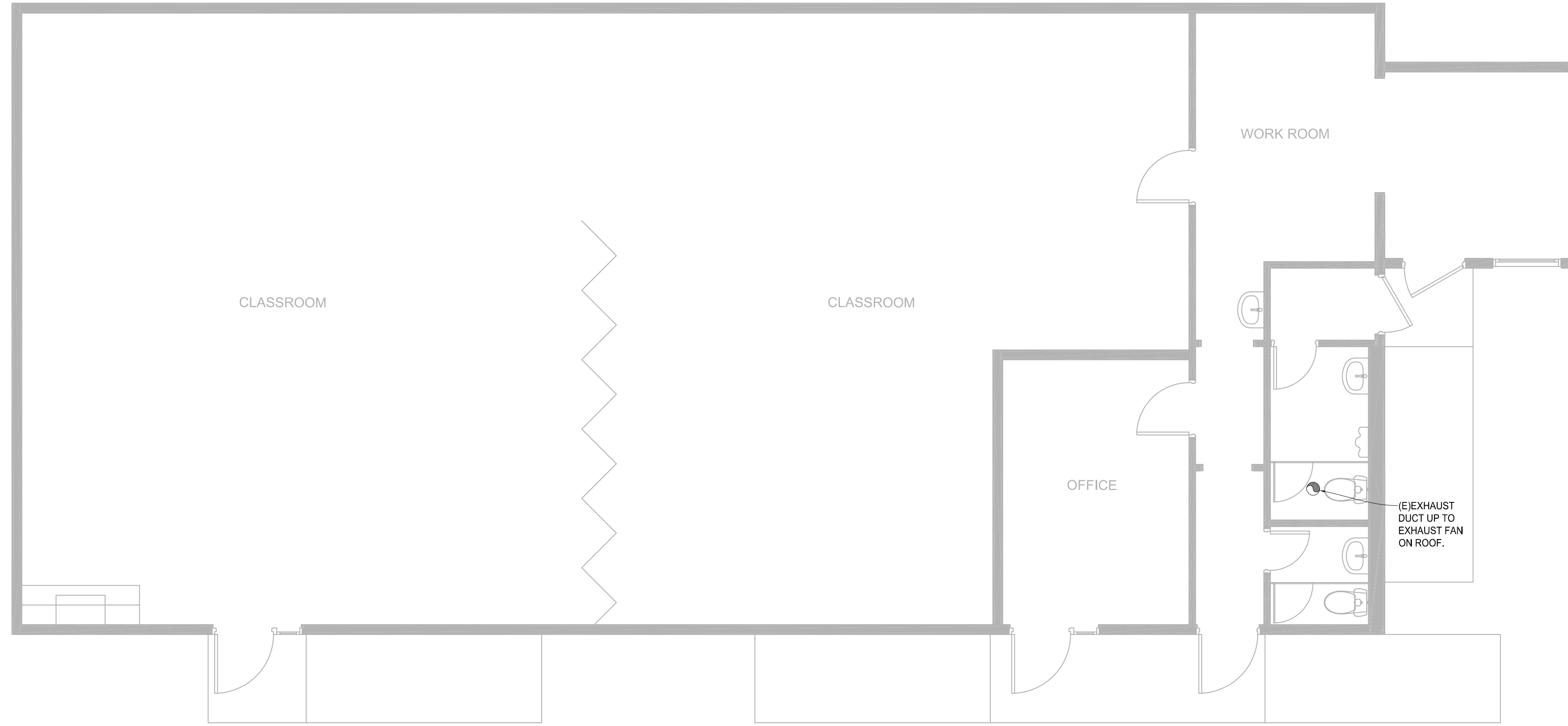
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MODEL FILE:
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PLOT DATE:
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SHEET TITLE

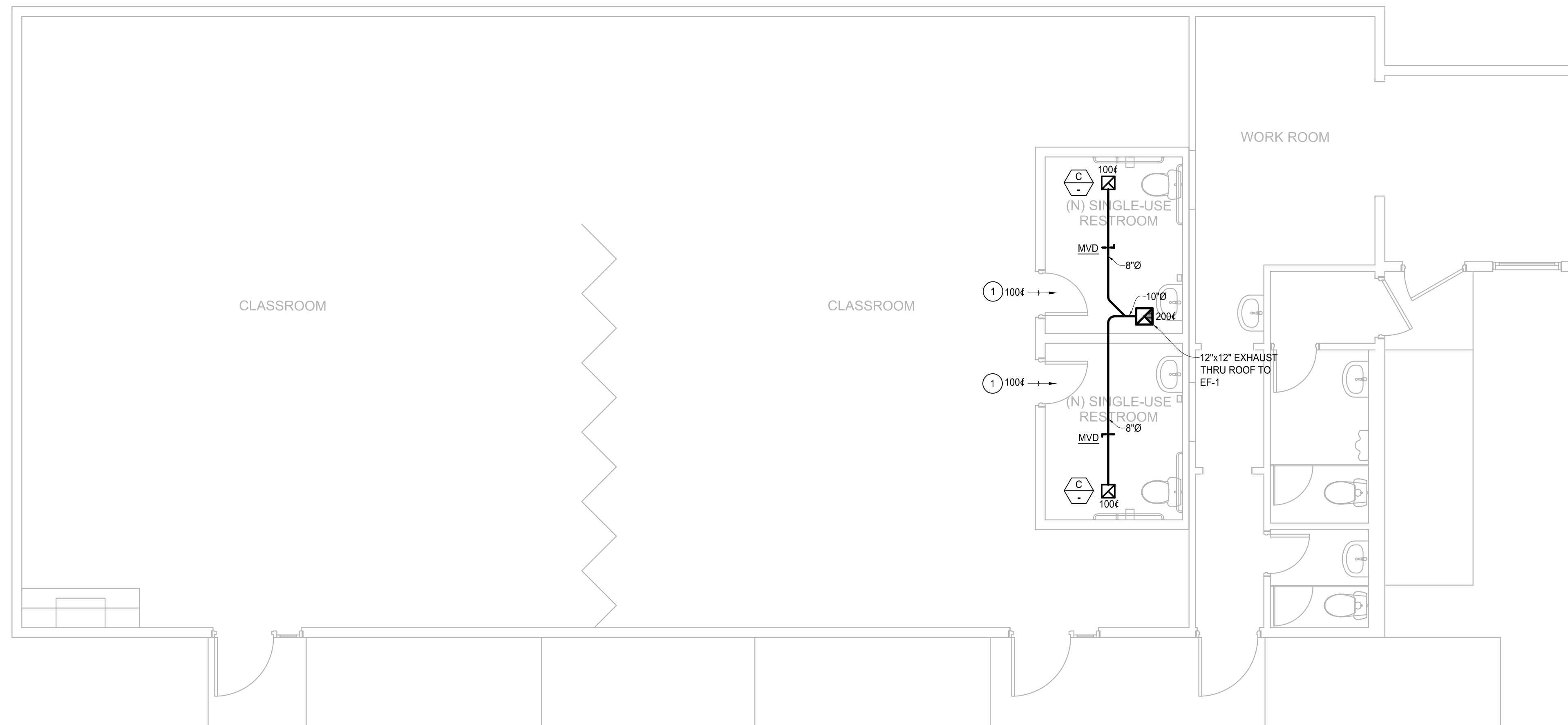
MECHANICAL
OVERALL SITE PLAN

MS100



BUILDING E DEMOLITION FLOOR PLAN

SCALE: 1/4"=1'-0"



BUILDING E NEW WORK FLOOR PLAN

SCALE: 1/4"=1'-0"

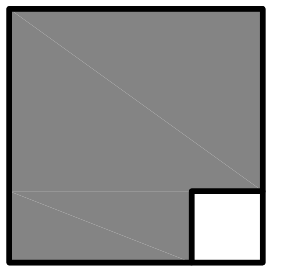
GENERAL NOTES

1. THE DESIGN OF THE PRODUCT WAS BASED UPON THE INFORMATION CONTAINED IN DRAWINGS PROVIDED BY THE ARCHITECT. DISCREPANCIES BETWEEN INDICATED AND ACTUAL FIELD CONDITIONS MAY EXIST. IT IS A REQUIREMENT THAT THE CONTRACTOR SHALL VISIT THE SITE AND WALK THE JOB BEFORE SUBMITTING THEIR BID AND SHALL MAKE ALL ALLOWANCES FOR PLAN/FIELD CONDITION DISCREPANCIES PRIOR TO SUBMITTING FOR BID. DURING THE CONSTRUCTION PROCESS, IF A DISCREPANCY IS FOUND TO EXIST, THE CONTRACTOR SHALL DETERMINE A FIELD SOLUTION TO RESOLVE THE PROBLEM, AND THEN FORWARD THIS INFORMATION TO THE ARCHITECT FOR SUBMITTAL TO THE ENGINEER FOR APPROVAL.

KEY NOTES

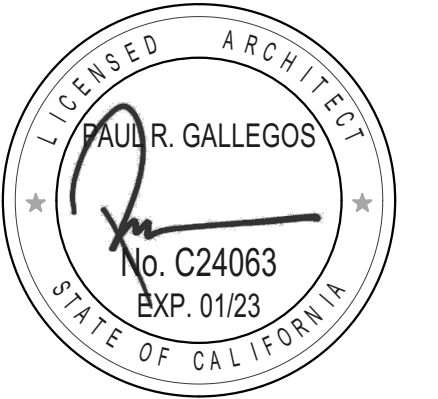
- ① PROVIDE UNDERCUT WITH MINIMUM 0.75 FREE AREA.
- ② PROVIDE EXHAUST FAN AND ROOF CURB PER SCHEDULE.

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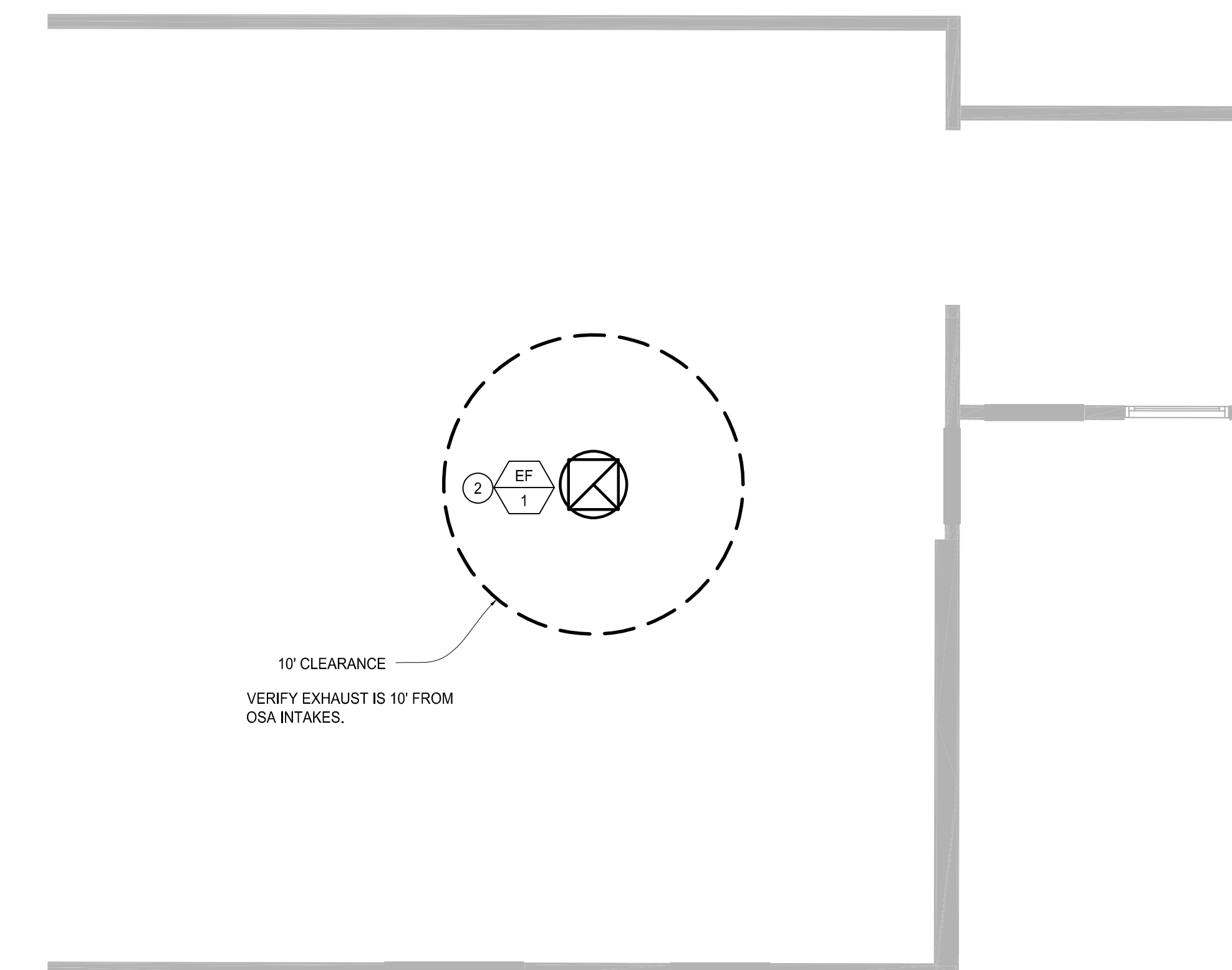


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BUILDING E NEW WORK ROOF PLAN

SCALE: 1/4"=1'-0"

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MECHANICAL FLOOR PLANS

M100

ABBREVIATIONS

A	AMPERE (AMPS)
AC	ALTERNATING CURRENT
AF	AMPS-FRAME (RATING)
AIC	AMP INTERRUPTING CURRENT
AM	AMMETER
AS	AMP SWITCH (FUSED SWITCH RATING)
AT	AMPS-TRIP (RATING)
AWG	AMERICAN WIRE GAUGE
BC	BARE COPPER
BLDG	BUILDING
C	CONDUIT
CB	CIRCUIT BREAKER
CO	CONDUIT ONLY
CT	CURRENT TRANSFORMER
CU	COPPER
CFOI	CONTRACTOR FURNISHED OWNER INSTALLED
CFCI	CONTRACTOR FURNISHED CONTRACTOR INSTALLED
DFDT	DOUBLE POLE DOUBLE THROW
DFST	DOUBLE POLE SINGLE THROW
DWG	DRAWING
EX	EXISTING
FA	FIRE ALARM
FLA	FULL LOAD AMPS
FVR	FULL VOLTAGE REVERSING
FVNR	FULL VOLTAGE NON-REVERSING
GFI	GROUND FAULT INTERRUPTER
GRO/GND	GROUND
HID	HIGH INTENSITY DISCHARGE
HOA	HAND-OFF-AUTOMATIC
HP	HORSEPOWER
HPF	HIGH PRESSURE SODIUM
HZ	HERTZ
KW	KILOWATT
LCL	LONG CONTINUOUS LOAD
LRA	LOCKED ROTOR AMPS
LTS	LIGHTING
MCC	MOTOR CONTROL CENTER
MCM (KCM)	THOUSAND CIRCULAR MILS
MECH	MECHANICAL
NC	NORMALLY CLOSED
NF	NON-FUSED
NO	NORMALLY OPEN
OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
OFOI	OWNER FURNISHED OWNER INSTALLED
P	POLE
PH	PHASE
POC	POINT OF CONNECTION
PRC	PVC COATED RIGID STEEL (CONDUIT)
PT	POTENTIAL TRANSFORMER
PVC	POLYVINYL CHLORIDE DUCT
SWBD	SWITCHBOARD
TYP	TYPICAL
US	UNDERGROUND
UN	UNLESS OTHERWISE NOTED
V	VOLT
VA	VOLT-AMPERES
VM	VOLTMETER
VL	VERIFY LOCATION
W	WIRE/AMPS
WP	WEATHERPROOF (NEMA TYPE 3R)
WT	WATER TIGHT
XP	EXPLOSION PROOF (RATED FOR AREA HAZARD)

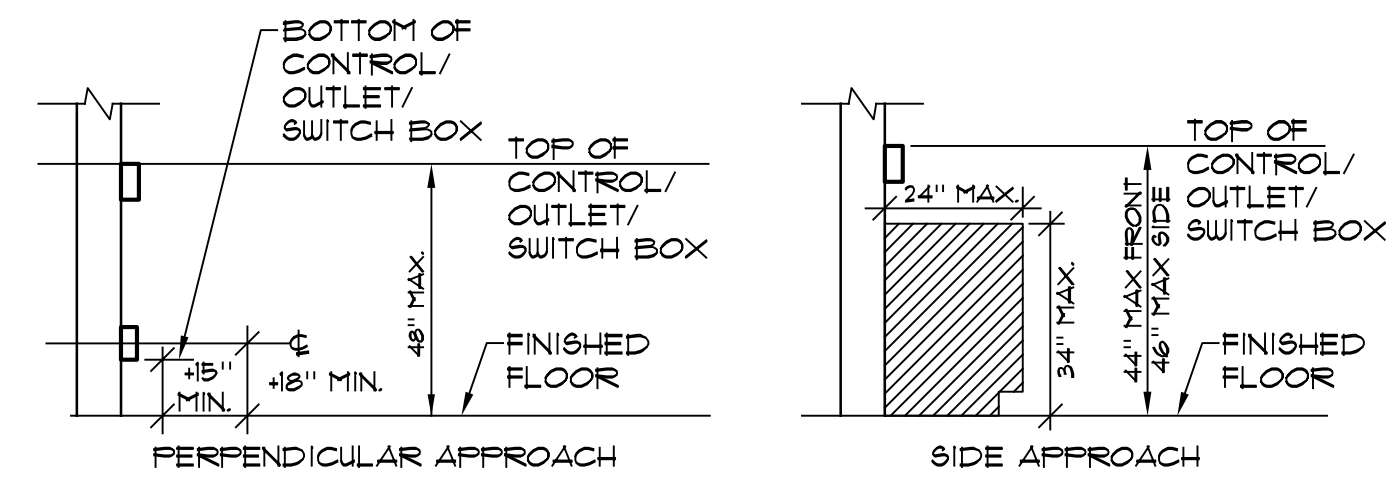
ELECTRICAL SYMBOL LEGEND

LIGHTING

	LIGHTING FIXTURE DESIGNATION
	LIGHTING FIXTURE, CEILING OR WALL MOUNTED AS SHOWN.
	LED LIGHT FIXTURE
	LIGHTING FIXTURE ON EMERGENCY CIRCUIT (MINIMUM 90 MIN. BACKUP).
	EXIT SIGN WITH DIRECTION ARROWS AS INDICATED. SHADED QUADRANT INDICATES FACE.
	LED STRIP LIGHT
	SINGLE POLE SWITCH, SUBSCRIPT WHEN SHOWN INDICATES FIXTURES CONTROLLED 48" AFF. (U.O.N.) HEIGHT PER DETAILS 1/1E10.
	THREE-WAY SWITCH 48" AFF. (U.O.N.) HEIGHT PER DETAILS 1/1E10.
	FOUR-WAY SWITCH 48" AFF. (U.O.N.) HEIGHT PER DETAILS 1/1E10.
	SWITCH WITH PILOT LIGHT 48" AFF. (U.O.N.) HEIGHT PER DETAILS 1/1E10.
	DOUBLE POLE SWITCH 48" AFF. (U.O.N.) HEIGHT PER DETAILS 1/1E10.
	WEATHER PROOF SWITCH 48" AFF. (U.O.N.) HEIGHT PER DETAILS 1/1E10.
	KEY OPERATED SWITCH 48" AFF. (U.O.N.) HEIGHT PER DETAILS 1/1E10.

DISTRIBUTION EQUIPMENT

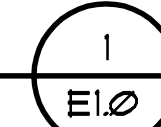
	DRAW OUT TYPE EQUIPMENT
	VACUUM CIRCUIT BREAKER, RATING AS NOTED.
	AIR INTERRUPTER SWITCH AND FUSE
	AIR INTERRUPTER
	FUSE
	POWER TRANSFORMER, RATING AS NOTED
	POWER CIRCUIT BREAKER DRAWOUT
	AUTOMATIC TRANSFER SWITCH. SEE SCHEDULE
	AMMETER
	VOLTMETER
	CIRCUIT BREAKER
	FUSED SWITCH
	200 AMP SWITCH
	200 AMP FUSE
	3 POLE
	UTILITY COMPANY METER



NOTE: MAINTAIN MINIMUM 30"x48" CLEAR FLOOR SPACE AT EACH APPROACH.

MOUNTING HEIGHT OVER OBSTRUCTION

NO SCALE



POWER CONTINUED

	DUPLEX RECEPTACLE, FLOOR MOUNTED
	DUPLEX RECEPTACLE, WALL MOUNTED, 48" AFF. (U.O.N.)
	RECEPTACLE, WALL MOUNTED HORIZONTALLY, 48" AFF. (U.O.N.)
	FOURPLEX RECEPTACLE, WALL MOUNTED, 48" AFF. (U.O.N.)
	RECEPTACLE MOUNTED 46" ABOVE COUNTER BACKSPLASH SEE ARCHITECTURAL PLANS FOR REQUIRED MOUNTING HEIGHT PRIOR TO ROUGH-IN.
	PROVIDE (2) DUPLEX RECEPTACLE CEILING MOUNTED LOCATE ADJACENT TO PROJECTOR FIELD. VERIFY EXACT LOCATION PRIOR TO ROUGH-IN.
	SINGLE RECEPTACLE, WALL MOUNTED 48" AFF. (U.O.N.)
	DUPLEX RECEPTACLE WITH TWO USB PORTS, WALL MOUNTED, 48" AFF. (U.O.N.)
	DUPLEX RECEPTACLE WITH TWO USB PORTS (LEVITON #GUSB2-W OR EQUAL) WALL MOUNTED, 48" AFF. (U.O.N.)
	DUPLEX GROUND FAULT INTERRUPTING RECEPTACLE WITH TWO USB PORTS (LEVITON #GUSB2-W OR EQUAL) IN WEATHERPROOF ENCLOSURE WITH WHILE IN USE COVER, WALL MOUNTED, 48" AFF. (U.O.N.)
	SWITCH CONTROLLED DUPLEX RECEPTACLE 48" U.O.N.
	DUPLEX GROUND FAULT INTERRUPTING RECEPTACLE 48" AFF. (U.O.N.)
	DUPLEX RECEPTACLE IN WEATHERPROOF ENCLOSURE WITH WHILE IN USE COVER 48" AFF. (U.O.N.)
	DUPLEX RECEPTACLE IN WEATHERPROOF "LOCKING" ENCLOSURE 48" AFF. (U.O.N.) (SEE TYPICAL DETAILS E3 SERIES SHEETS AND SPECIFICATIONS FOR REQUIRED TYPE).
	DUPLEX GROUND FAULT INTERRUPTING RECEPTACLE WITH TWO USB PORTS (LEVITON #GUSB2-W OR EQUAL) MOUNTED 46" ABOVE COUNTER BACKSPLASH. SEE ARCHITECTURAL PLANS FOR REQUIRED MOUNTING HEIGHT PRIOR TO ROUGH-IN.
	DUPLEX COMPUTER RECEPTACLE (GREY), WALL MOUNTED 48" AFF. (U.O.N.)
	DUPLEX COMPUTER RECEPTACLE (BLUE) ISOLATED GROUND, SURGE SUPPRESSION, WALL MOUNTED 48" AFF. (U.O.N.)
	POWER PEDESTAL. SEE FLOOR PLAN FOR DETAILS
	JUNCTION BOX, CEILING OR WALL MOUNTED
	HAND DRYER CONNECTION, SEE ARCHITECTURAL FOR MOUNTING HEIGHT.
	FUSED DISCONNECT SWITCH, WHERE SHOWN NF = NON-FUSED.
	MANUAL MOTOR STARTER 48" AFF. OR ON EQUIPMENT (U.O.N.)
	MOTOR CONNECTION, NUMERAL INDICATES HORSEPOWER.
	MECHANICAL EQUIPMENT TAG (SEE MECHANICAL DRAWINGS FOR DESCRIPTION)
	CONDUIT AND WIRE, CONCEALED IN CEILING OR WALL
	CONDUIT AND WIRE, CONCEALED IN OR UNDER FINISHED FLOOR OR UNDER FINISHED GRADE.
	FLEXIBLE CONDUIT CONNECTION
	BRANCH CIRCUIT HOMERUN TO PANEL. SLASHES INDICATE NUMBER OF CONDUCTORS. EQUIPMENT GROUND WIRE NOT INDICATED U.O.N. #2 CONDUCTORS ARE MINIMUM, NO HASH MARKS = MIN (2) #2
	3/4" CONDUIT STUBBED FROM DEVICE TO ABOVE ACCESSIBLE CEILING
	BRANCH CIRCUIT HOMERUN, NUMBER INDICATES INCREASED CONDUCTOR SIZE, CONDUCTORS SHALL REMAIN AS INDICATED FOR SIZE THROUGHOUT THE ENTIRE CIRCUIT.
	PANELBOARD, SURFACE MOUNTED.
	PANELBOARD, RECESSED
	STEP-DOWN TRANSFORMER
	DISTRIBUTION SWITCHBOARD
	SURFACE MOUNTED RACEWAY SINGLE SECTION SERIES, NON METALLIC (WHITE)
	SURFACE MOUNTED RACEWAY TWO SECTION SERIES, NON METALLIC (WHITE)
	SURFACE MOUNTED RACEWAY THREE SECTION SERIES, NON METALLIC (WHITE)

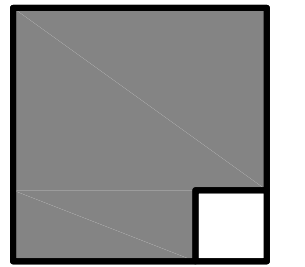
GENERAL PROJECT NOTES

- UNLESS WHERE OTHERWISE NOTED, ALL WORK INDICATED ON THESE DRAWINGS SHALL BE CONSIDERED NEW WORK.
- UNLESS WHERE OTHERWISE NOTED, ALL DIMENSIONS ARE TO BE CENTERLINE OF THE DEVICE.
- "GENERAL NOTES" SHOWN ON AN INDIVIDUAL DRAWING APPLY TO ALL WORK SHOWN ON THAT SHEET. "KEY NOTES" ONLY APPLY TO SPECIFIC ITEMS WHERE ANNOTATED AT SPECIFIC LOCATIONS. SOME KEY NOTES MAY NOT APPLY TO ANY SPECIFIC ITEMS.
- UNLESS SPECIFICALLY SHOWN ON THESE PLANS, NO STRUCTURAL MEMBER SHALL BE CUT, NEITHER DRILLED NOR NOTCHED WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE STRUCTURAL ENGINEER AND THE DIVISION OF THE STATE ARCHITECT.

GENERAL DEMOLITION NOTES

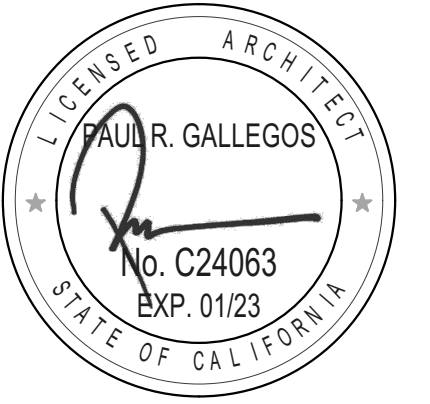
- ALL ELECTRICAL EQUIPMENT, EXPOSED RACEWAY AND CONDUIT, OUTLET BOXES AND RINGS AND DEVICES ARE TO BE REMOVED, EXCEPT WHERE SHOWN TO REMAIN. EXISTING WIRING, WHETHER EXPOSED, IN CONDUIT OR RACEWAY IS TO BE REMOVED TO THE GREATEST EXTENT POSSIBLE.
- THE ELECTRICAL CONTRACTOR IS TO DIRECT THE REMOVAL OF THE ABOVE LISTED WORK.

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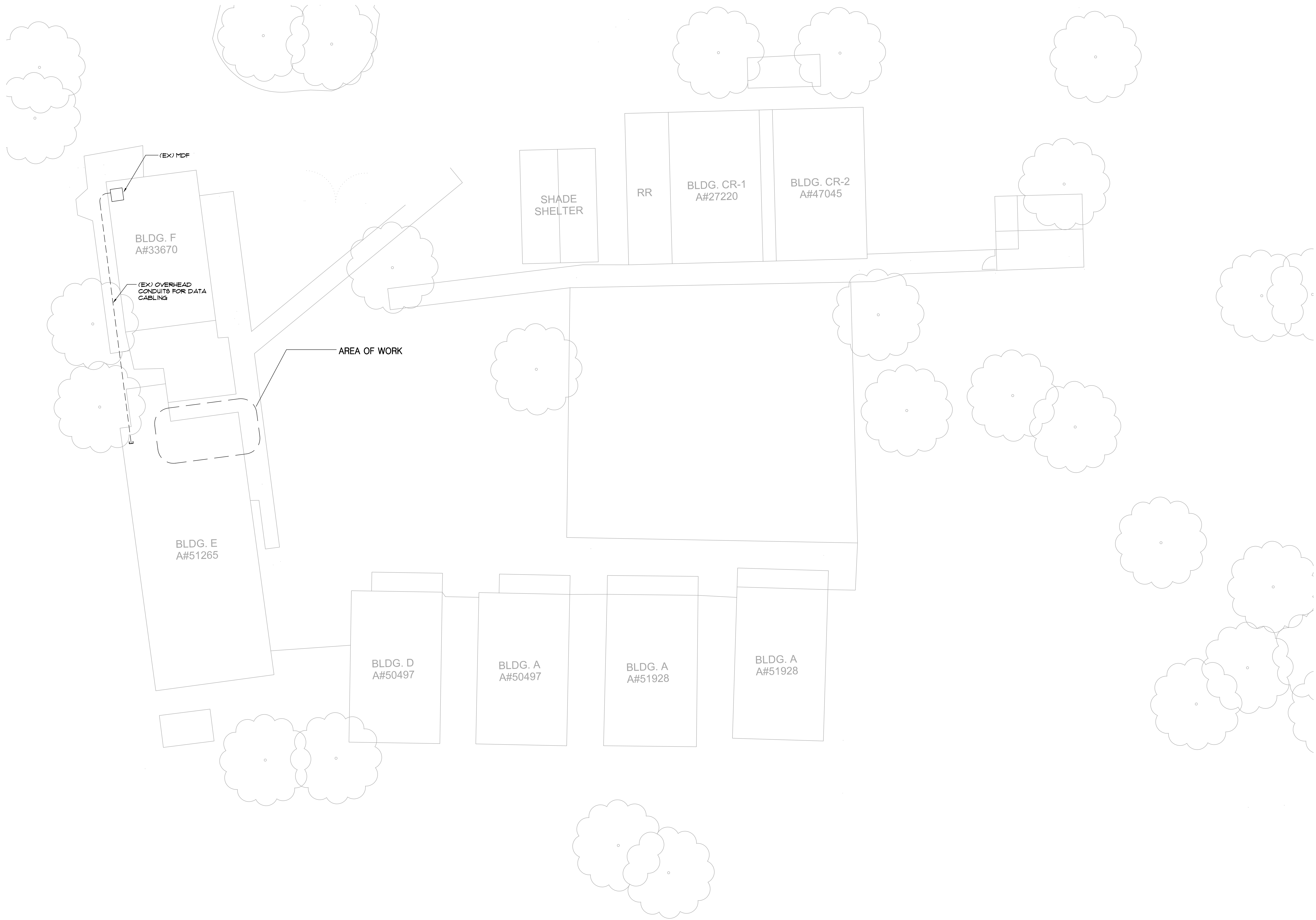
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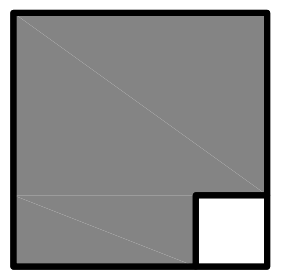
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Powsy, CA 92084
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**ELECTRICAL
LEGEND AND
NOTES**

E-1.0

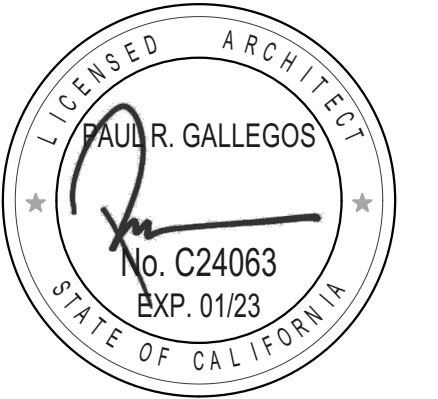


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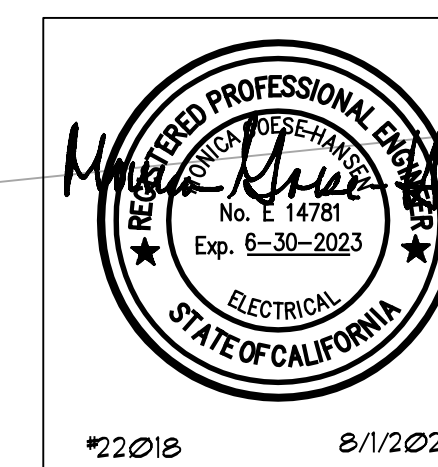
REVISIONS	
MARK	DESCRIPTION

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OVERALL SITE PLAN

E-1.1

1 OVERALL SITE PLAN
SCALE: 1"=10'



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STATE OF CALIFORNIA
Indoor Lighting
 CERTIFICATE OF COMPLIANCE
 PROJECT NAME: NEW PRESCHOOL - PINE VALLEY MIDDLE SCHOOL
 PROJECT ADDRESS: 7454 PINE BLVD, PINE VALLEY, VA 91962
 PROJECT DATE: 8/17/22

A. GENERAL INFORMATION

B. PROJECT SCOPE

C. COMPLIANCE RESULTS

Lighting in conditioned and unconditioned spaces must be completed per §15005.0(a)	Compliance
Conditioned	COMPLIES
Unconditioned	COMPLIES

CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance: <http://www.energy.ca.gov/title24/2019standards/> October 2020

STATE OF CALIFORNIA
Indoor Lighting
 CERTIFICATE OF COMPLIANCE
 PROJECT NAME: NEW PRESCHOOL - PINE VALLEY MIDDLE SCHOOL
 PROJECT ADDRESS: 7454 PINE BLVD, PINE VALLEY, VA 91962
 PROJECT DATE: 8/17/22

D. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE

YES	NO	Form/Title	Field Inspector	Pass	Fail
<input checked="" type="checkbox"/>	<input type="checkbox"/>	NR1-ET-01-E - Must be submitted for a lighting control system, or for an Energy Management Control System (EMCS), to be recognized for compliance.		<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	NR1-ET-02-E - Must be submitted for two interlocked systems serving an auditorium, a convention center, a conference room, a multi-purpose room, or a theater to be recognized for compliance.		<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	NR1-ET-03-E - Must be submitted for a power adjustment factor (PAF) to be recognized for compliance.		<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	NR1-ET-04-E - Must be submitted for additional wattage installed in a video conferencing studio to be recognized for compliance.		<input type="checkbox"/>	<input type="checkbox"/>

CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance: <http://www.energy.ca.gov/title24/2019standards/> October 2020

STATE OF CALIFORNIA
Indoor Lighting
 CERTIFICATE OF COMPLIANCE
 PROJECT NAME: NEW PRESCHOOL - PINE VALLEY MIDDLE SCHOOL
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 PROJECT DATE: 8/17/22

D. EXCEPTIONAL CONDITIONS

E. ADDITIONAL REMARKS

F. INDOOR LIGHTING FIXTURE SCHEDULE

Designated Wattage - Conditioned Spaces	01	02	03	04	05	06	07	08	09	10
Name or Item Tag	01	02	03	04	05	06	07	08	09	10
104 LED RECESSED TROFFER										
Total Designated Watts	78									
Unconditioned Spaces	78									

CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance: <http://www.energy.ca.gov/title24/2019standards/> October 2020

STATE OF CALIFORNIA
Indoor Lighting
 CERTIFICATE OF COMPLIANCE
 PROJECT NAME: NEW PRESCHOOL - PINE VALLEY MIDDLE SCHOOL
 PROJECT ADDRESS: 7454 PINE BLVD, PINE VALLEY, VA 91962
 PROJECT DATE: 8/17/22

DECLARATION OF AUTHOR'S DECLARATION STATEMENT

RESPONSIBLE DESIGNER'S DECLARATION STATEMENT

RESPONSIBLE DESIGNER'S SIGNATURE

MONICA HANSEN
 JOHNSON CONSULTING ENGINEERS
 12875 BROOKPINDER PL, SUITE 300
 POWAY, CA 92064
 PHONE: 858-679-4030

CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance: <http://www.energy.ca.gov/title24/2019standards/> October 2020

STATE OF CALIFORNIA
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 CERTIFICATE OF COMPLIANCE
 PROJECT NAME: NEW PRESCHOOL - PINE VALLEY MIDDLE SCHOOL
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 PROJECT DATE: 8/17/22

H. INDOOR LIGHTING CONTROLS (Not including PAFs)

Lighting Level Controls

Area Level Controls	01	02	03	04	05	06	07	08	09	10	11	12
Area Description	01	02	03	04	05	06	07	08	09	10	11	12
RESTROOM												
TOTAL	81.9											

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STATE OF CALIFORNIA
Indoor Lighting
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 PROJECT DATE: 8/17/22

DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION

STATE OF CALIFORNIA
Indoor Lighting
 CERTIFICATE OF COMPLIANCE
 PROJECT NAME: NEW PRESCHOOL - PINE VALLEY MIDDLE SCHOOL
 PROJECT ADDRESS: 7454 PINE BLVD, PINE VALLEY, VA 91962
 PROJECT DATE: 8/17/22

I. ADDITIONAL LIGHTING ALLOWANCE: AREA CATEGORY METHOD QUALIFYING LIGHTING SYSTEM

J. TAILORED METHOD GENERAL LIGHTING POWER ALLOWANCE

K. ADDITIONAL LIGHTING ALLOWANCE: TAILORED WALL DISPLAY

L. ADDITIONAL LIGHTING ALLOWANCE: TAILORED FLOOR AND TASK LIGHTING

M. ADDITIONAL LIGHTING ALLOWANCE: TAILORED ORNAMENTAL/SPECIAL EFFECTS

N. ADDITIONAL LIGHTING ALLOWANCE: TAILORED VERY VALUABLE MERCHANDISE

O. POWER ADJUSTMENT: LIGHTING CONTROL CREDIT (POWER ADJUSTMENT FACTOR (PAF))

P. RATED POWER REDUCTION COMPLIANCE FOR ALTERATIONS

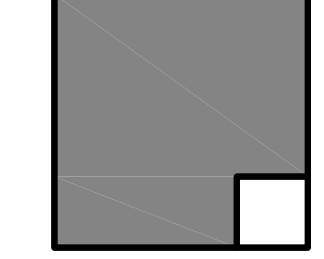
Q. BDN LIGHTING POWER FOR ALTERATIONS - CONTROLS EXCEPTIONS

R. DAYLIGHT DESIGN POWER ADJUSTMENT FACTOR (DAF)

T. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION

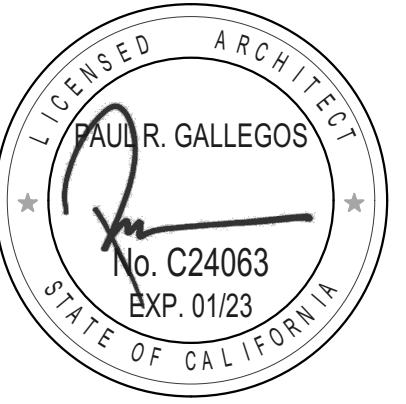
CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance: <http://www.energy.ca.gov/title24/2019standards/> October 2020

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ARCHITECT OF RECORD



ENGINEER OF RECORD

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PINE VALLEY MIDDLE SCHOOL

7454 PINE BLVD.
PINE VALLEY, CA 91962

MOUNTAIN EMPIRE UNIFIED SCHOOL DISTRICT
3291 BUCKMAN SPRING RD. PINE VALLEY CA 91962

REVISIONS	
MARK	DESCRIPTION

PROJECT NO: #Pin
MODEL FILE:
22-005_MEUSD Pine Valley MS Preschool.pln
PLOT DATE:
6/15/2022
SHEET TITLE

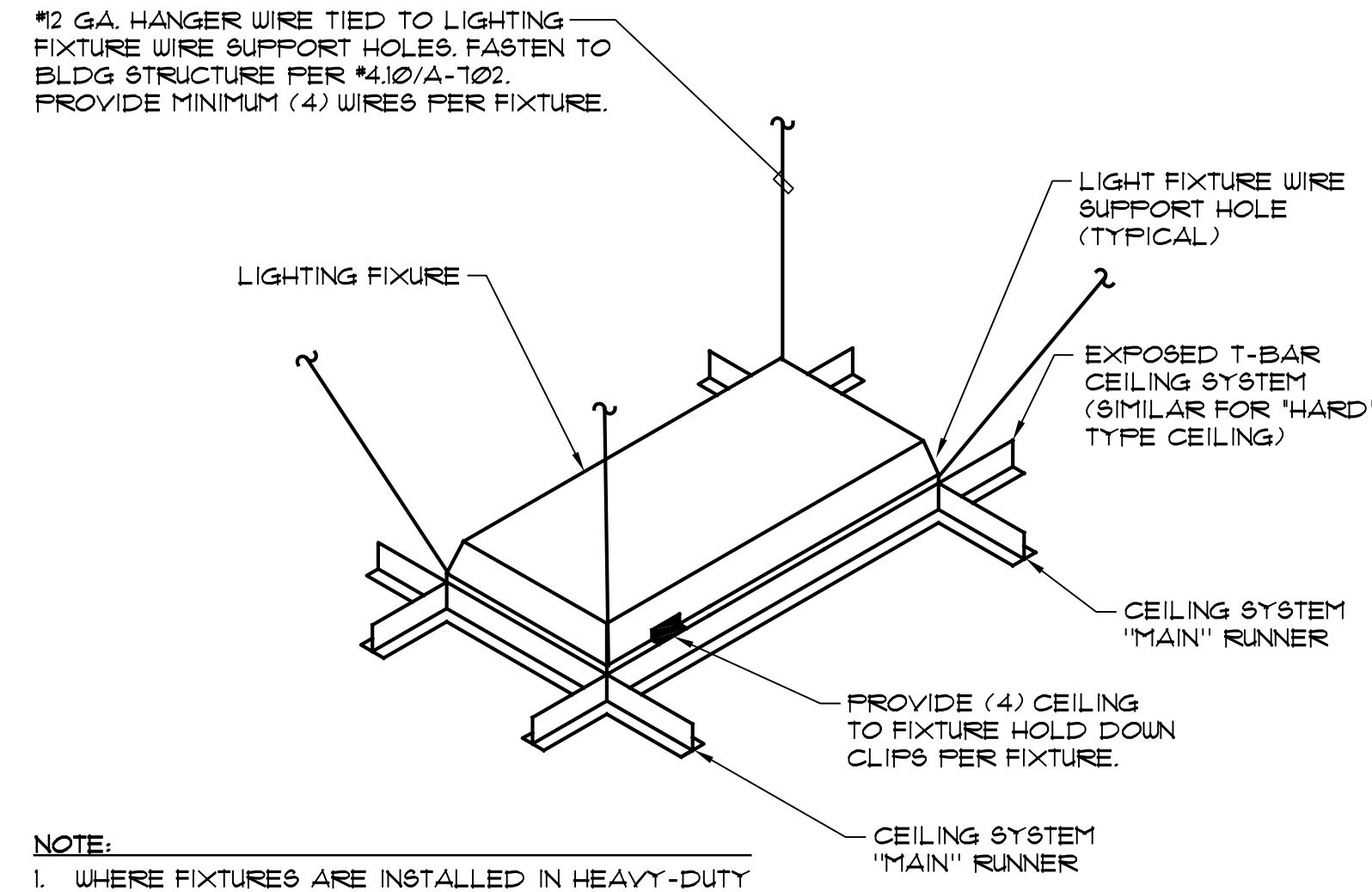
TITLE 24

E-2.0

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PROFESSIONAL ENGINEER
 PAUL R. GALLEGOS
 No. E 14781
 Exp. 6-30-2023
 ELECTRICAL
 STATE OF CALIFORNIA

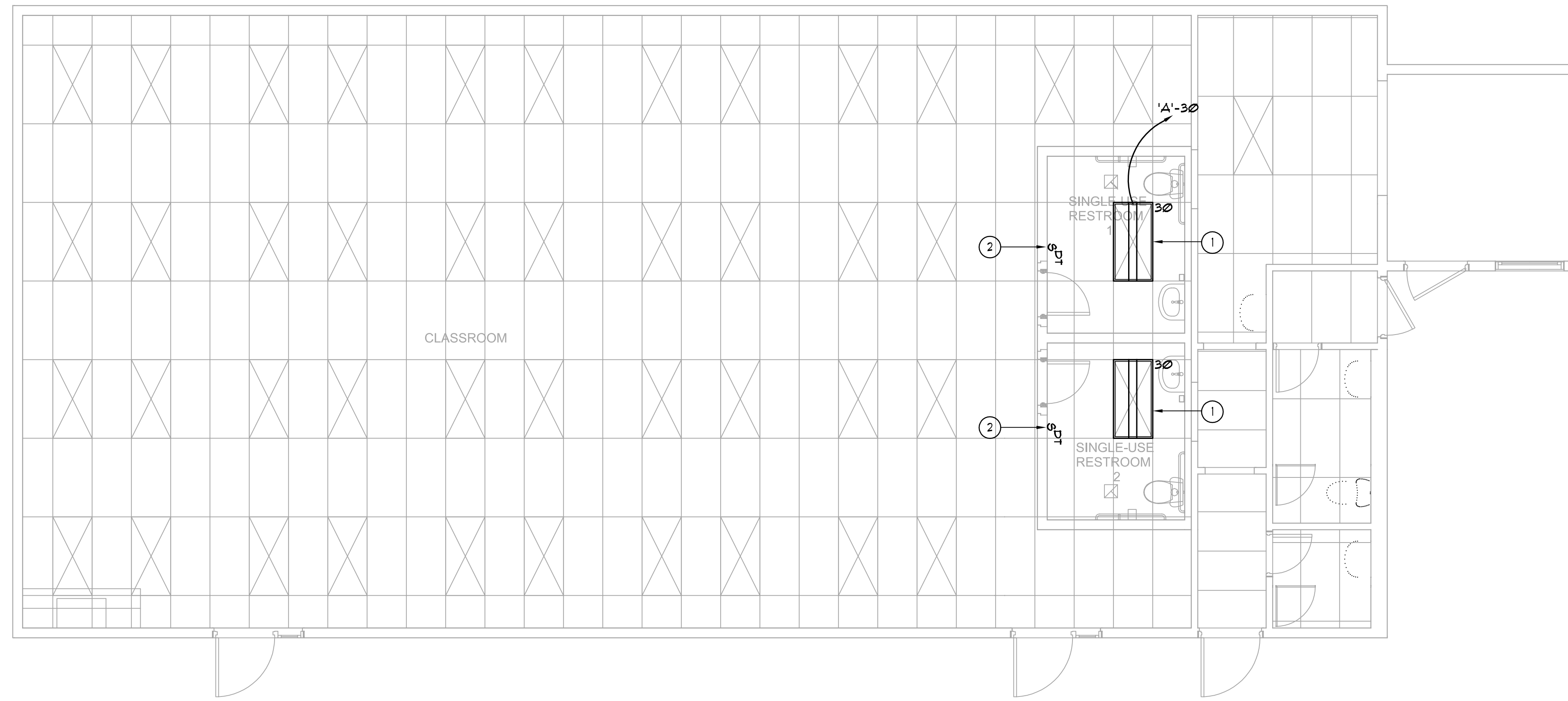
8/1/2022



- NOTE:**
- WHERE FIXTURES ARE INSTALLED IN HEAVY-DUTY TYPE LAY-IN CEILING AND THE TOTAL WEIGHT OF THE FIXTURE IS LESS THAN 56 LBS. REDUCE THE QUANTITY OF HANGER WIRES TO (2) BLACK WIRES AT DIAGONAL CORNERS.
 - REFERENCE ARCHITECTURAL DRAWINGS FOR ADDITIONAL CEILING ANCHORAGE REQUIREMENTS.

FLUORESCENT FIXTURE SEISMIC RESTRAINT DETAIL
NO SCALE

2
E2.1



1 FLOOR PLAN - LIGHTING
SCALE: 1/4" = 1'-0"

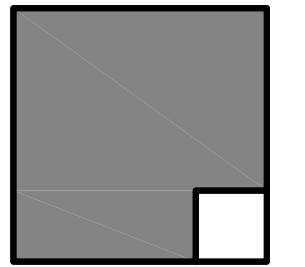
GENERAL NOTES:

- REFERENCE ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATION OF ALL LIGHTING FIXTURES.
- REFERENCE E2 SERIES SHEETS FOR TYPICAL DETAILS.
- LETTERS IN OR ADJACENT TO EACH FIXTURE OR FIXTURE ROW INDICATES SWITCH AND OR OCCUPANCY SENSOR WHICH CONTROLS THE LIGHTING FIXTURE.
- CIRCUIT HOMERUN ARE INDICATED TO SHOW THE LOCATION AND NUMBER OF CIRCUITS TO BE GROUPED TOGETHER.
- PROVIDE MINIMUM 3/4" CONDUIT AND #2 CIRCUIT CONDUCTORS AS REQUIRED TO CONNECT EACH LIGHTING FIXTURES TO THEIR INDICATED CONTROL DEVICES. (UON.)

KEY NOTES:

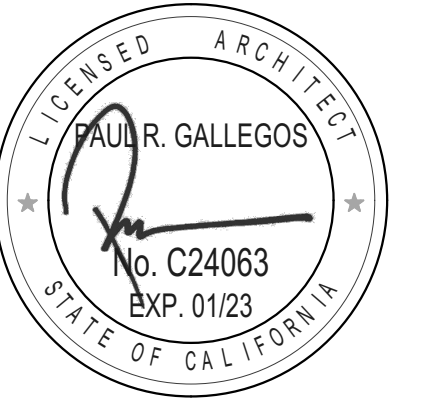
- LITHONIA #2VTL4-48L-ADP-EZI-LF840.
- SENSOR SWITCH #USX-PDT LINE VOLTAGE DUAL TECH SERIES WHITE FINISH ROUTE CIRCUIT 'A1'-30 VIA WALL SENSOR SWITCH AS REQUIRED.

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REVISIONS	
MARK	DESCRIPTION

PROJECT NO: #Pin
MODEL FILE:
22-005_MEUSD Pine Valley MS Preschool.pln
PLOT DATE:
6/15/2022
SHEET TITLE

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#2202 8/1/2022

FLOOR PLAN
LIGHTING

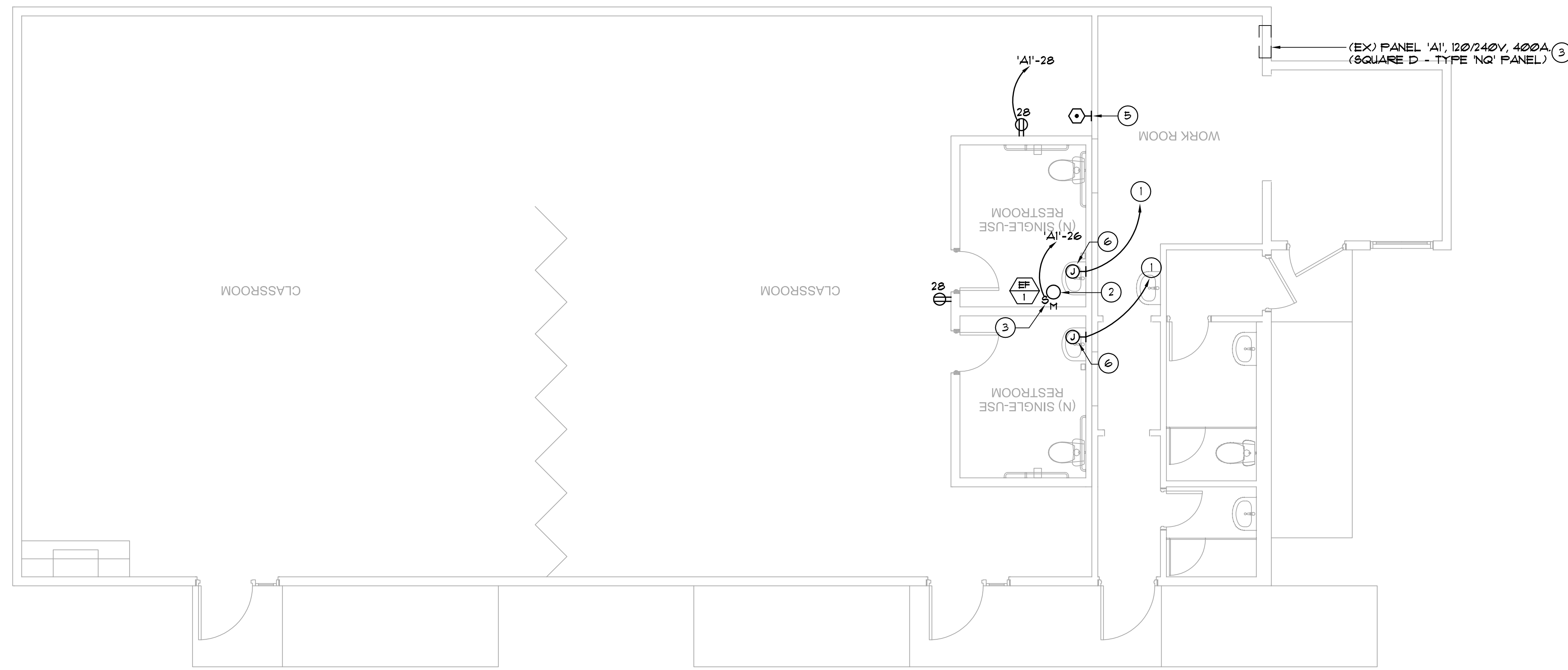
E-2.1

KEY NOTES:

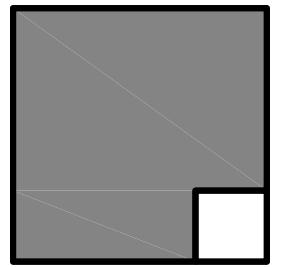
- ① 3/4" C.O. TO PANEL 'A1'.
- ② EXHAUST FAN LOCATED ON ROOF. REFER TO MECHANICAL DRAWINGS FOR EXACT LOCATION.
- ③ PROVIDE (3) 20A/1P BREAKERS IN EXISTING SPACE #26, #28 AND #30.
- ④ PROVIDE MANUAL MOTOR STARTER SWITCH AS THE DISCONNECT MEANS FOR THE EXHAUST FAN.
- ⑤ EXISTING DATA OUTLET AND FACEPLATE INSTALLED IN NEW LOCATION. RE-TERMINATE EXISTING DATA CABLING AS REQUIRED.
- ⑥ FUTURE INSTAHOT LOCATION. PROVIDE RECESSED JUNCTION BOX WITH BLANK COVER. FIELD VERIFY EXACT LOCATION.

GENERAL NOTES:

1. REFERENCE ARCHITECTURAL INTERIOR ELEVATIONS FOR EXACT LOCATION OF ALL WALL MOUNTED POWER DEVICES WHERE INDICATED AT MOUNTING HEIGHTS OTHER THAN 48".
2. REFERENCE E3 SERIES SHEETS FOR TYPICAL CONDUIT AND BACKBOX INSTALLATION DETAILS.
3. NUMBERS ADJACENT TO EACH POWER DEVICE INDICATES THE CIRCUIT NUMBER TO WHICH THE DEVICE IS TO BE CONNECTED.
4. CIRCUIT HOMERUNS ARE INDICATED TO SHOW THE LOCATION AND NUMBER OF CIRCUITS TO BE GROUPED TOGETHER.
5. PROVIDE MINIMUM 3/4" CONDUIT AND #2 CIRCUIT CONDUCTORS AS REQUIRED TO CONNECT EACH POWER DEVICE TO THEIR INDICATED CIRCUIT (W.O.N.).
6. FIELD VERIFY EXACT ROUTING LOCATION FOR CONCEALED CONDUITS AND RECEPTACLES PRIOR TO ROUGH-IN.

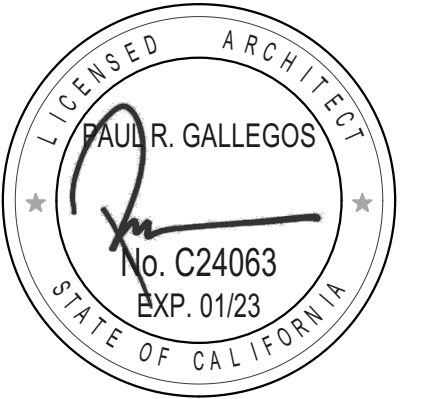


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MOUNTAIN EMPIRE UNIFIED SCHOOL DISTRICT
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REVISIONS		
MARK	DATE	DESCRIPTION

PROJECT NO: #Pjn
MODEL FILE:
22-005_MEUSD Pine Valley MS Preschool.pjn
PLOT DATE:
6/15/2022
SHEET TITLE

FLOOR PLAN
POWER & COMM.





E-3.1

1 FLOOR PLAN - POWER & COMM.
SCALE: 1/4" = 1'-0"

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FIRE ALARM NOTE:
THIS FIRE ALARM DESIGN IS A COMPLETE PLAN SUBMITTAL IN ACCORDANCE WITH 2019 CBC 907.1.

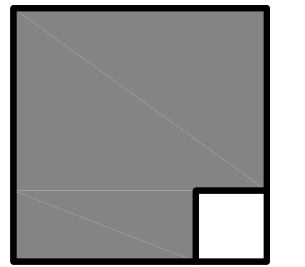
EXPANSION OF EXISTING SYSTEM:
THIS PROJECT ADDS TO AND OR MODIFIES AN EXISTING SYSTEM, PREVIOUSLY APPROVED BY DSA. ALL NEW COMPONENTS ARE COMPATIBLE WITH THE EXISTING SYSTEM EQUIPMENT.

- FIRE ALARM SYMBOL LEGENDS**
-  MANUAL PULL STATION MOUNTED BETWEEN 42" TO 48" AFF. TO HIGHEST POINT OF OPERATING HANDLE OR LEVER OF DEVICE.
 -  CEILING MOUNTED FLASHING LIGHT STROBE (B = STROBE CANDELA RATING) (S1 = SIGNAL CIRCUIT IDENTIFICATION)
 -  WALL MOUNTED HORN MOUNTED 180" AFF. TO BOTTOM OF DEVICE (S1 = SIGNAL CIRCUIT IDENTIFICATION)
 -  MAIN FIRE ALARM CONTROL PANEL
 - EOL END OF LINE RESISTOR

- GENERAL NOTES:**
1. REFERENCE ARCHITECTURAL INTERIOR ELEVATIONS FOR EXACT LOCATION OF ALL WALL MOUNTED DEVICES.
 2. REFERENCE E5 AND E6 SERIES SHEETS FOR TYPICAL CONDUIT AND BACKBOX INSTALLATION DETAILS.
 3. REFERENCE RISER DIAGRAMS FOR TYPICAL CONDUIT SIZES AND INITIATION ZONE CIRCUIT IDENTIFICATIONS.
 4. REFERENCE MECHANICAL PLANS FOR EXACT LOCATION OF ALL DUCT DETECTORS AND SMOKE DAMPER LOCATIONS.
 5. UNLESS OTHERWISE NOTED SOLID LINES BETWEEN DEVICES SHALL BE 1" E.M.T. ROUTED CONCEALED ABOVE CEILINGS OR IN WALLS. DASHED LINES INDICATE 1-1/2" RVC UNDERGROUND CONDUIT. ALL WIRING TO BE PROVIDED PER MANUFACTURER SHOP DRAWINGS.
 6. CONTRACTOR SHALL PROVIDE CEILING ACCESS PANEL AT ALL NON-LAY-IN TYPE CEILINGS, WHERE HEAT DETECTOR ABOVE CEILING IS INDICATED.
 7. PROVIDE WIRE PROTECTIVE GUARD OVER ALL FIRE ALARM DEVICES LOCATED IN THE FOLLOWING AREAS: GYMNASIUM, LOCKER ROOMS, SHOP AREAS, AND ANY OTHER AREA WHERE DEVICES MAY BE SUBJECT TO CONTACT.

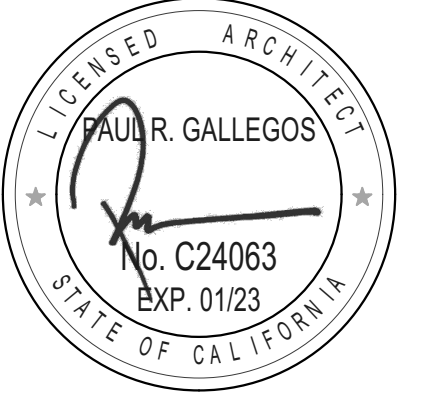
- KEY NOTES:**
- ① CONNECT NEW PULL STATIONS TO EXISTING MAIN FIRE ALARM CONTROL PANEL AND RECONFIGURE THE SIGNAL LINE CIRCUIT AS REQUIRED.
 - ② CONNECT CEILING STROBES TO EXISTING MAIN FIRE ALARM CONTROL PANEL AND RECONFIGURE THE NAC CIRCUITS AS REQUIRED.

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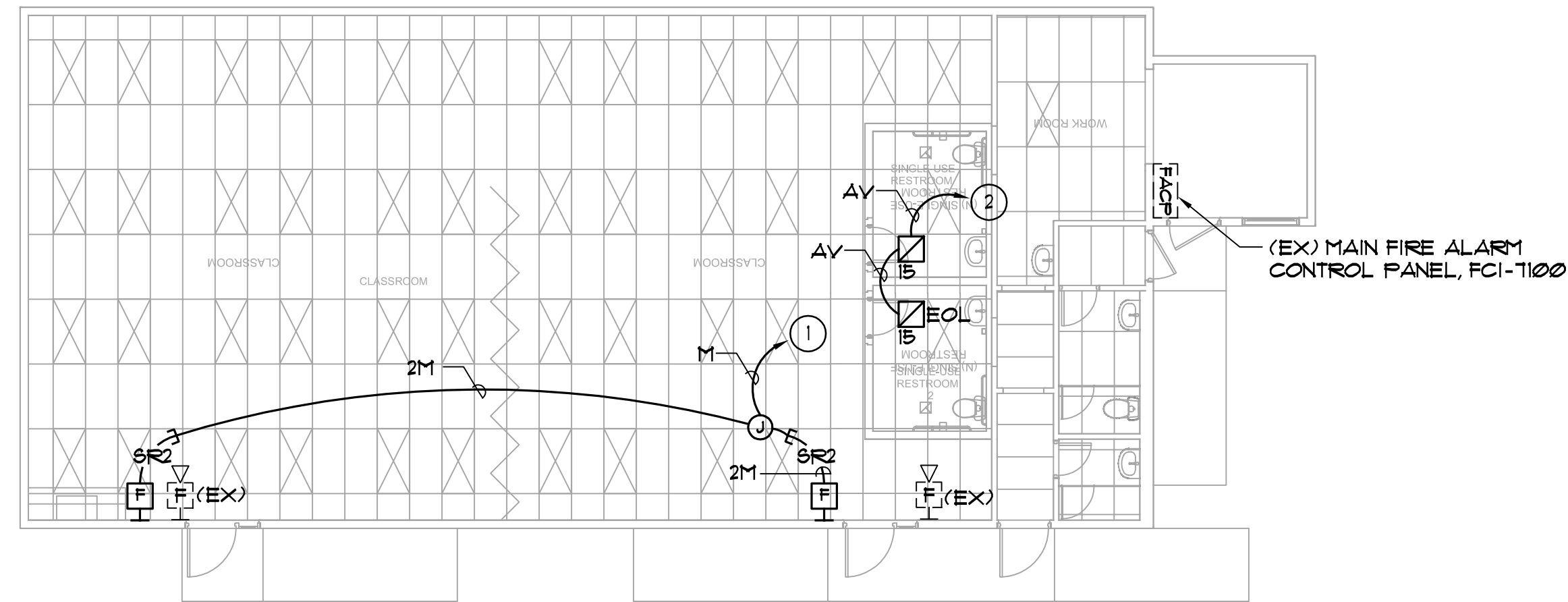


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1 FLOOR PLAN - FIRE ALARM
SCALE: 1/8" = 1'-0"

REVISIONS	
MARK	DESCRIPTION

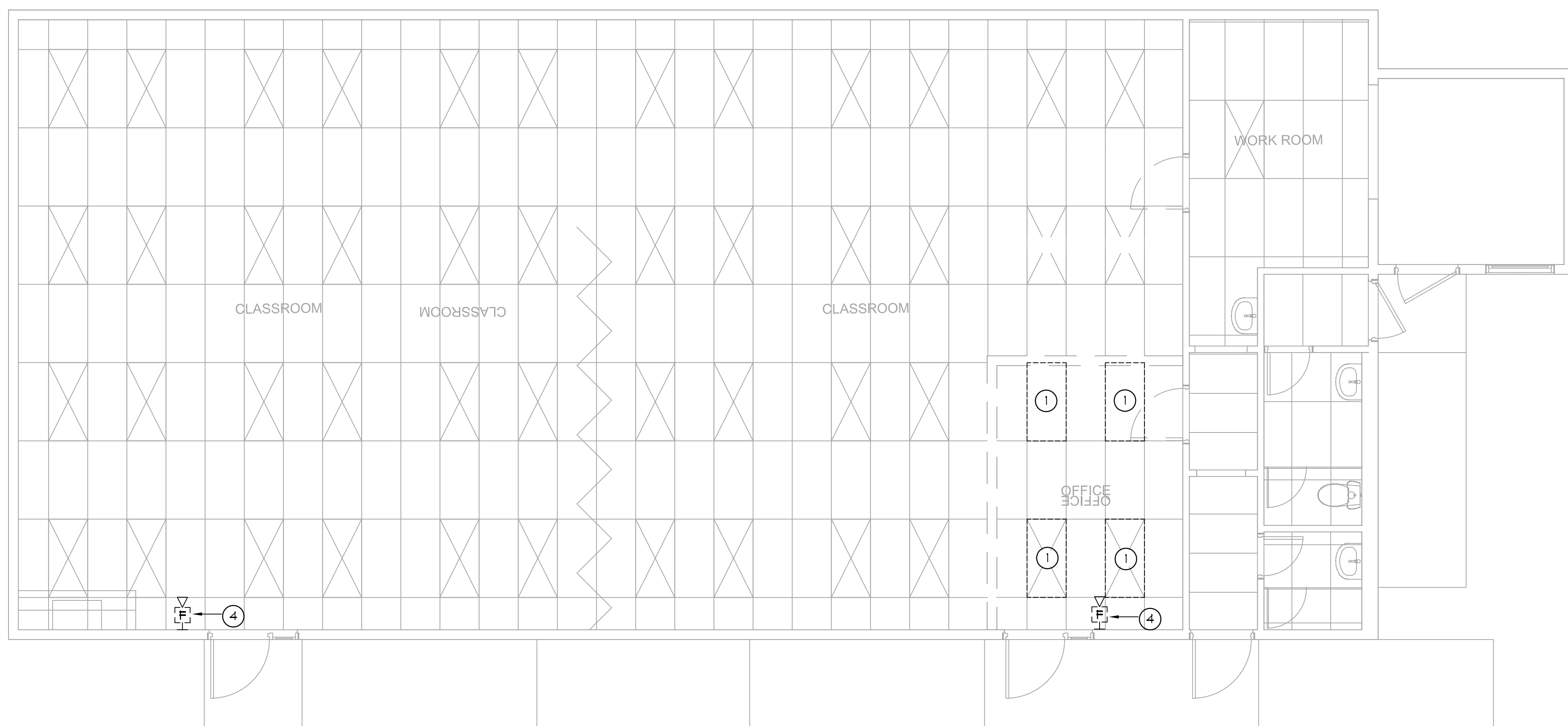
PROJECT NO: #PIn
MODEL FILE:
22-005_MEUSD Pine Valley MS Preschool.pln
PLOT DATE:
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SHEET TITLE

FLOOR PLAN
FIRE ALARM

E-5.1



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DEMOLITION FLOOR PLAN - LIGHTING

1/4" = 1'-0"



DEMOLITION FLOOR PLAN - POWER & COMM

1/4" = 1'-0"

DEMOLITION GENERAL NOTES:

1. ALL ITEMS SHOWN ON THIS DRAWING ARE EXISTING TO BE REMOVED UNLESS OTHERWISE NOTED. SEE REQUIREMENTS BELOW FOR SCOPE OF WORK. ALL OTHER ELECTRICAL ITEMS IN THIS BUILDING ARE EXISTING TO REMAIN. MAINTAIN POWER CIRCUIT CONTINUITY UNTIL NEW SOURCE IS ENERGIZED AND READY FOR TRANSFER. REFER TO POWER AND LIGHTING PLANS.
2. ALL ELECTRICAL DEMOLITION WORK SHALL BE DIRECTED BY THE ELECTRICAL CONTRACTOR.

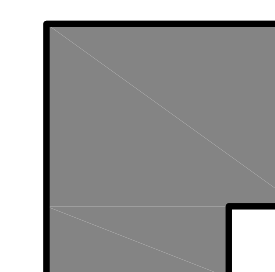
GENERAL DEMOLITION REQUIREMENTS

1. **LIGHTING FIXTURES**
WHERE EXISTING LIGHTING FIXTURES ARE TO BE REMOVED, AND ARE NOT RELOCATED, CONTRACTOR SHALL DISPOSE OF ALL FIXTURES INCLUDING LAMPS AND BALLAST.
2. **WIRING DEVICES**
WHERE EXISTING SWITCHES OR RECEPTACLES ARE TO BE REMOVED, THE CONTRACTOR SHALL DISPOSE OF ALL DEVICES AS REQUIRED.
3. **COMMUNICATION DEVICES**
WHERE EXISTING TELEPHONE/INTERCOM AND CLOCK HEAD END EQUIPMENT, PHONES, SPEAKERS AND OTHER ASSOCIATED EQUIPMENT ARE TO BE REMOVED, THE CONTRACTOR SHALL DISPOSE OF ALL DEVICES AND EQUIPMENT AS REQUIRED.
4. **FIRE ALARM**
WHERE EXISTING FIRE ALARM PANELS AND ASSOCIATED SMOKE, HEAT, DUCT DETECTORS, PULL STATIONS AND STROBE OR HORN UNITS ARE TO BE REMOVED, THE CONTRACTOR SHALL DISPOSE OF ALL DEVICES AND EQUIPMENT AS REQUIRED.
5. ALL BOXES, EXPOSED CONDUIT, WIRE, AND OTHER ITEMS ASSOCIATED WITH ELECTRICAL EQUIPMENT TO BE REMOVED, SHALL BE DISCONNECTED, REMOVED AND DISPOSED OF BY THE CONTRACTOR AS REQUIRED, UNLESS SPECIFICALLY NOTED OTHERWISE. CUT AND CAP CONCEALED CONDUITS. PATCH, SEAL AND REPAIR SURFACE TO MATCH ADJACENT AREA WHERE BOXES ARE REMOVED.

KEY NOTES:

- ① DISCONNECT AND REMOVE EXISTING LIGHTING FIXTURE. DISCONNECT FIXTURE FROM EXISTING LIGHTING CIRCUIT AND MAINTAIN CIRCUIT CONTINUITY AS REQUIRED.
- ② EXISTING DATA OUTLET AND SURFACE RACEWAY SHALL BE REMOVED. EXISTING CABLING SHALL BE REMOVED BACK TO MDF. REFER TO SITE PLAN FOR THE MDF LOCATION.
- ③ EXISTING RECEPTACLE TO REMAIN.
- ④ EXISTING WALL MOUNTED FIRE ALARM HORN TO REMAIN.
- ⑤ EXISTING DATA OUTLET, CABLING AND FACE PLATE TO BE RELOCATED. REFER TO E31 FOR NEW OUTLET LOCATION.

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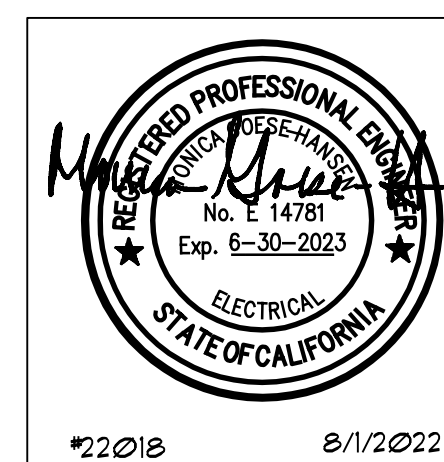
ENGINEER OF RECORD

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PINE VALLEY MIDDLE SCHOOL

7454 PINE BLVD.
PINE VALLEY, CA 91962
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3291 BUCKMAN SPRING RD. PINE VALLEY CA 91962

REVISIONS	
MARK	DESCRIPTION

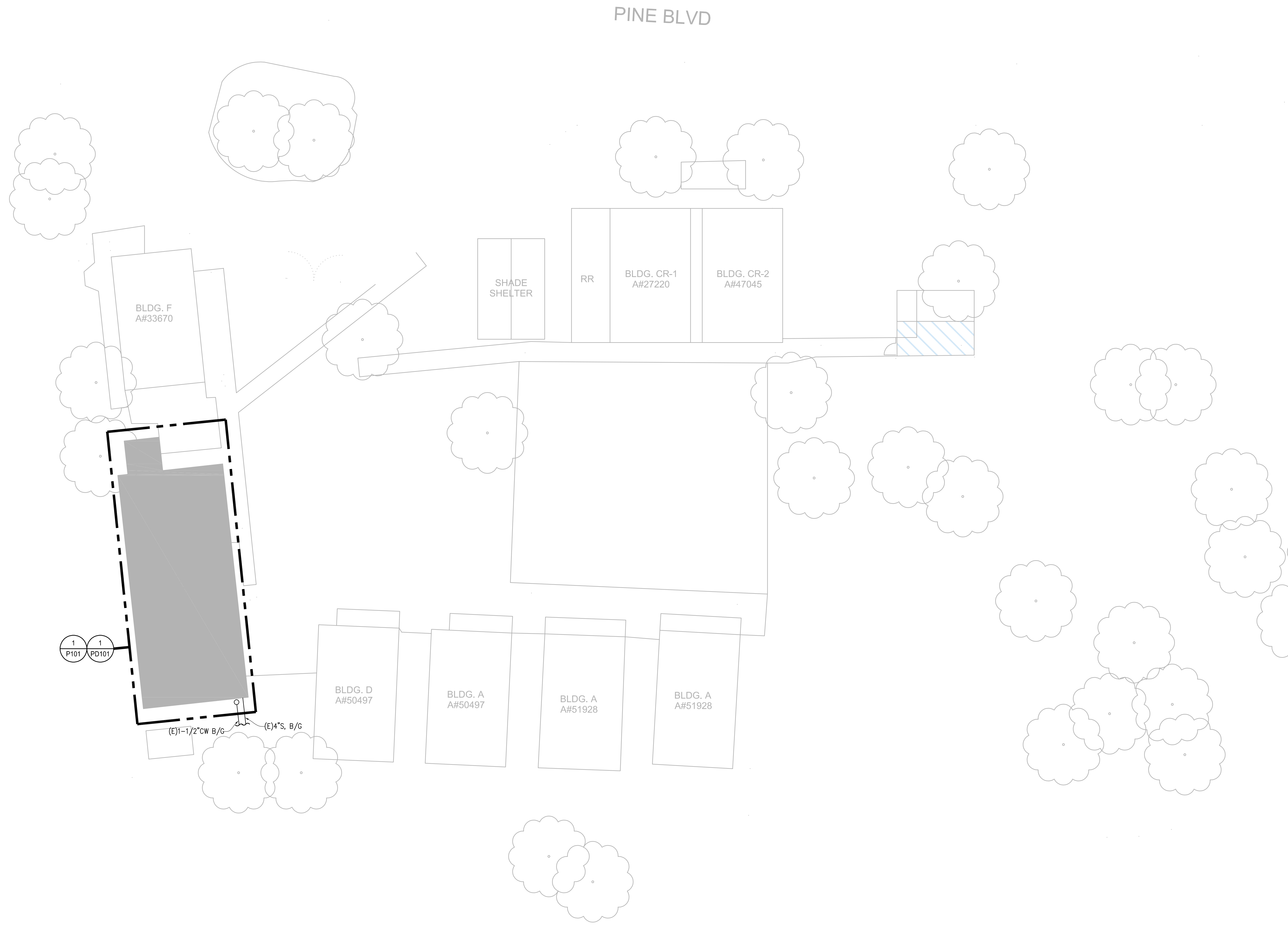
PROJECT NO: #Pin
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ENLARGED
SITE PLAN -
DEMOLITION

E-10.1



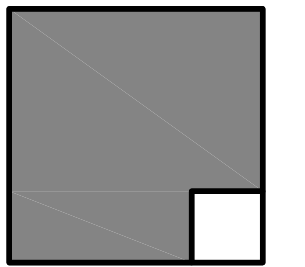
PLUMBING OVERALL SITE PLAN

SCALE: 1/16"=1'-0"

GENERAL NOTES

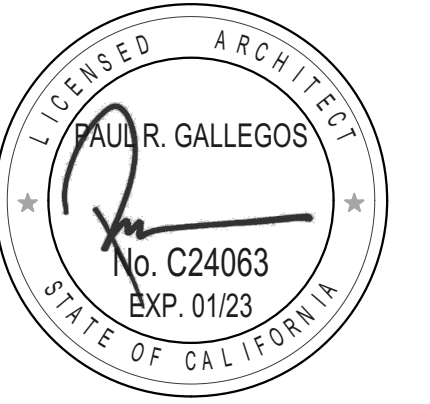
1. THE DESIGN OF THE PRODUCT WAS BASED UPON THE INFORMATION CONTAINED IN DRAWINGS PROVIDED BY THE ARCHITECT. DISCREPANCIES BETWEEN INDICATED AND ACTUAL FIELD CONDITIONS MAY EXIST. IT IS A REQUIREMENT THAT THE CONTRACTOR SHALL VISIT THE SITE AND WALK THE JOB BEFORE SUBMITTING THEIR BID AND SHALL MAKE ALL ALLOWANCES FOR PLAN/FIELD CONDITION DISCREPANCIES PRIOR TO SUBMITTING FOR BID. DURING THE CONSTRUCTION PROCESS, IF A DISCREPANCY IS FOUND TO EXIST, THE CONTRACTOR SHALL DETERMINE A FIELD SOLUTION TO RESOLVE THE PROBLEM, AND THEN FORWARD THIS INFORMATION TO THE ARCHITECT FOR SUBMITTAL TO THE ENGINEER FOR APPROVAL.

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PINE VALLEY, CA 91962

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3291 BUCKMAN SPRING RD. PINE VALLEY CA 91962

REVISIONS		
MARK	DATE	DESCRIPTION

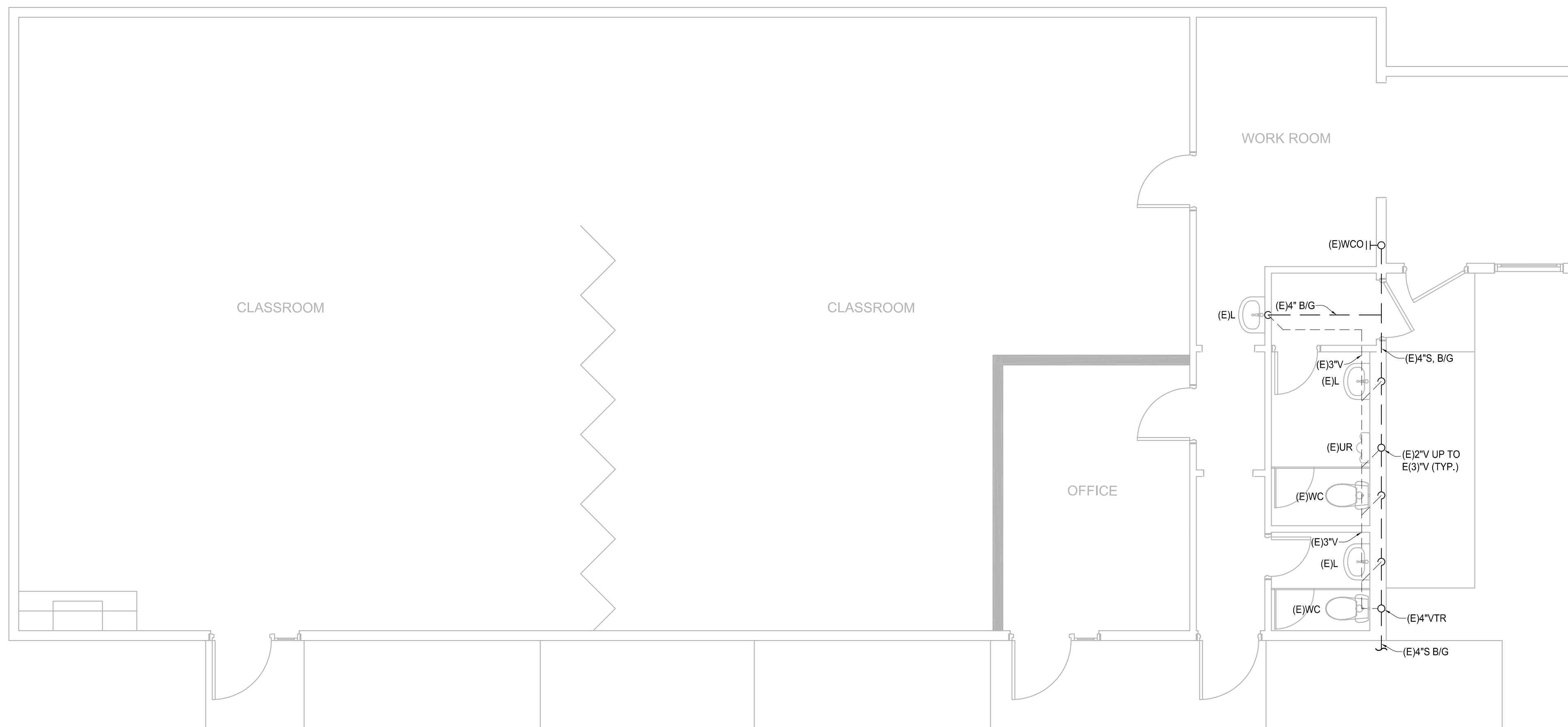
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22-005_MEUSD Pine Valley MS Preschool.pln

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6/15/2022

SHEET TITLE

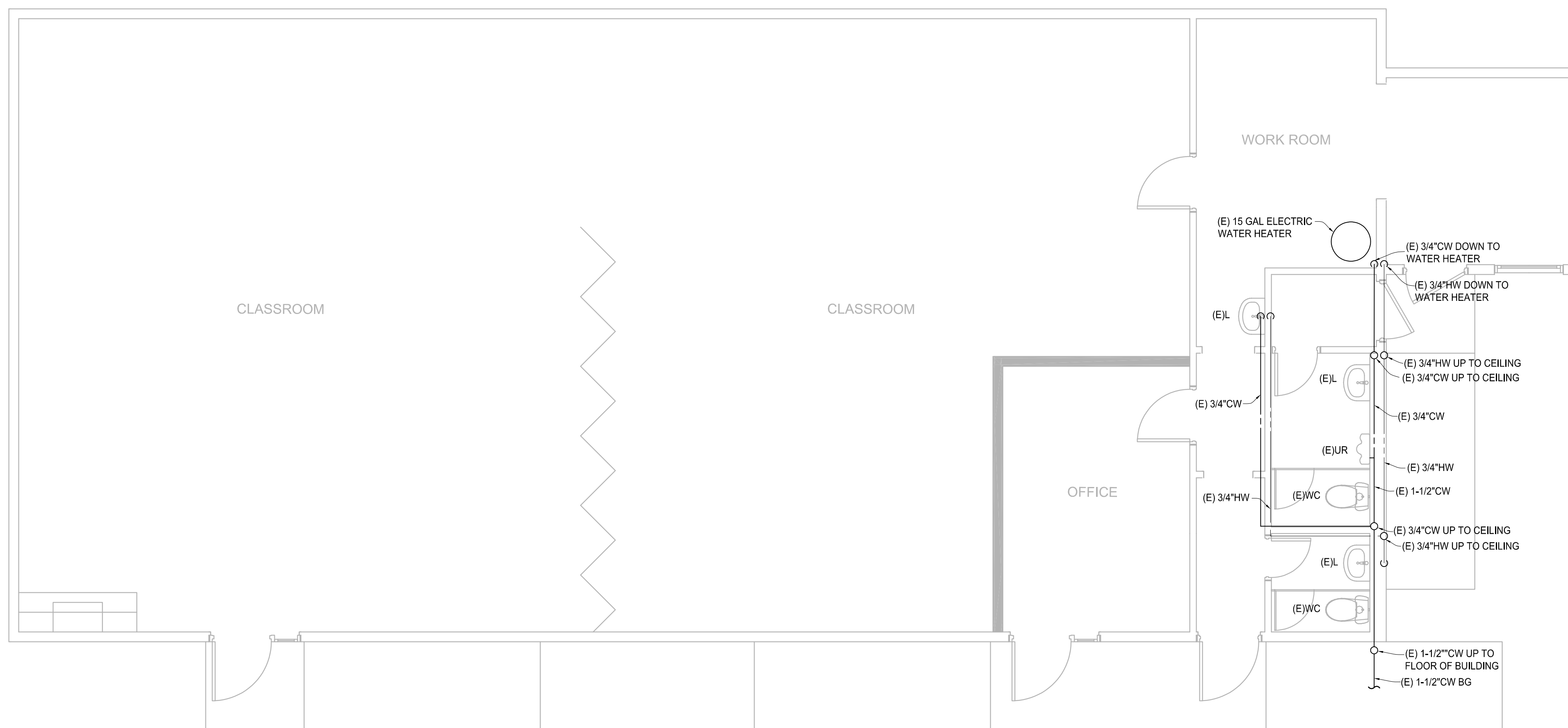
PLUMBING OVERALL
SITE PLAN

PS100



BUILDING E DEMOLITION FLOOR PLAN - WASTE AND VENT

SCALE: 1/4"=1'-0"



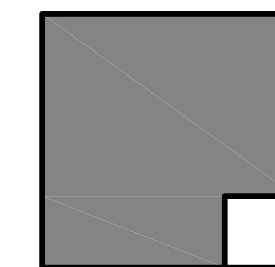
BUILDING E DEMOLITION FLOOR PLAN - WATER

SCALE: 1/4"=1'-0"

GENERAL NOTES

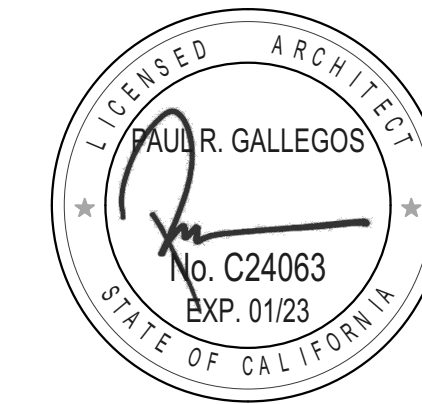
1. THE DESIGN OF THE PRODUCT WAS BASED UPON THE INFORMATION CONTAINED IN DRAWINGS PROVIDED BY THE ARCHITECT. DISCREPANCIES BETWEEN INDICATED AND ACTUAL FIELD CONDITIONS MAY EXIST. IT IS A REQUIREMENT THAT THE CONTRACTOR SHALL VISIT THE SITE AND WALK THE JOB BEFORE SUBMITTING THEIR BID AND SHALL MAKE ALL ALLOWANCES FOR PLAN/FIELD CONDITION DISCREPANCIES PRIOR TO SUBMITTING FOR BID. DURING THE CONSTRUCTION PROCESS, IF A DISCREPANCY IS FOUND TO EXIST, THE CONTRACTOR SHALL DETERMINE A FIELD SOLUTION TO RESOLVE THE PROBLEM, AND THEN FORWARD THIS INFORMATION TO THE ARCHITECT FOR SUBMITTAL TO THE ENGINEER FOR APPROVAL.

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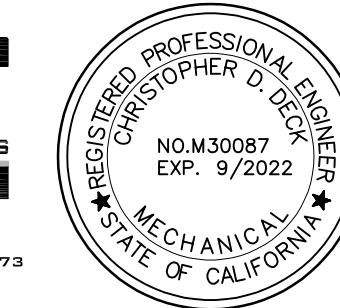


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ARCHITECT OF RECORD



ENGINEER OF RECORD



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SAN DIEGO, CA 92131
P: 858.578.3370 F: 858.578.3373

NEW PRESCHOOL

PINE VALLEY MIDDLE SCHOOL
7454 PINE BLVD.
PINE VALLEY, CA 91962
MOUNTAIN EMPIRE UNIFIED SCHOOL DISTRICT
3291 BUCKMAN SPRING RD. PINE VALLEY CA 91962

REVISIONS		
MARK	DATE	DESCRIPTION

PROJECT NO: #PIn

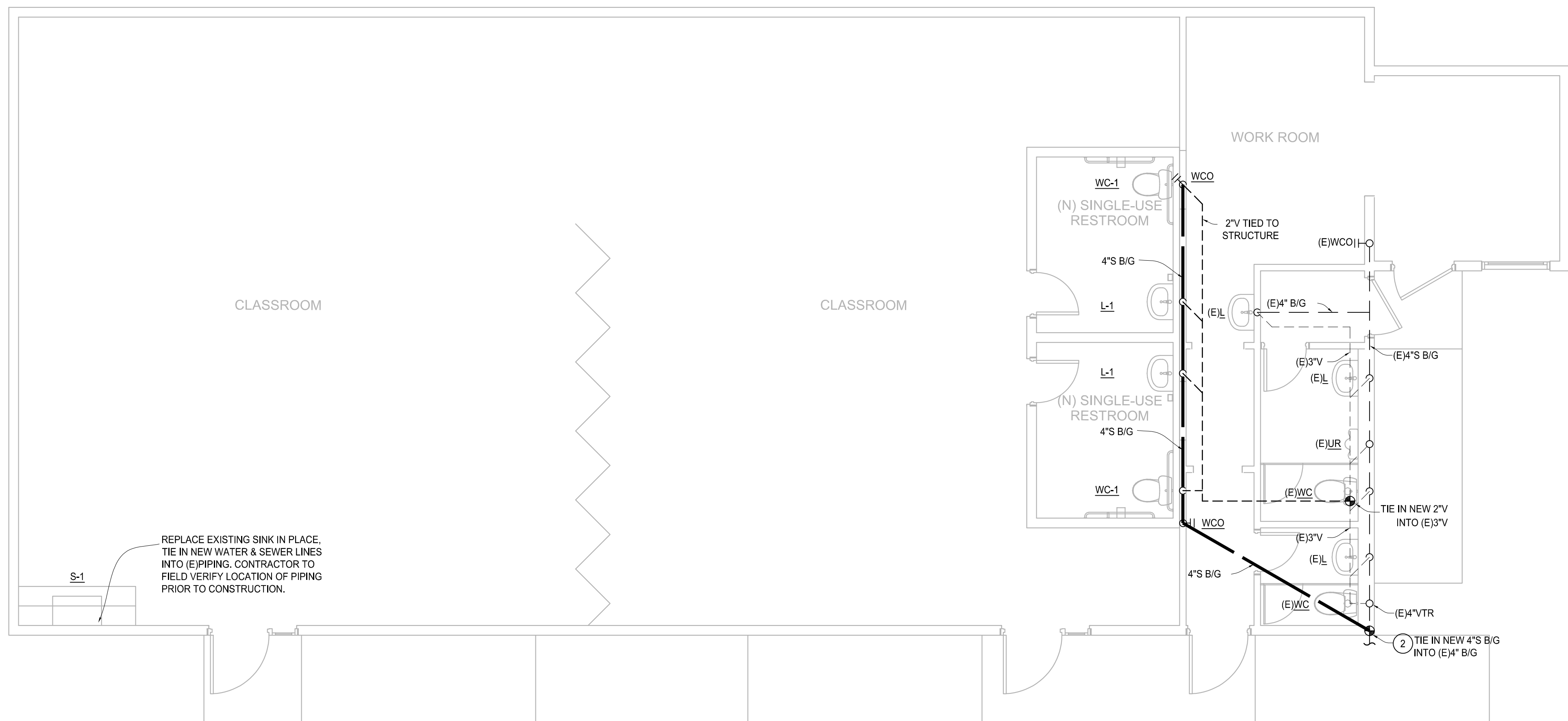
MODEL FILE:
22-005_MEUSD Pine Valley MS Preschool.pln

PLOT DATE:
6/15/2022

SHEET TITLE

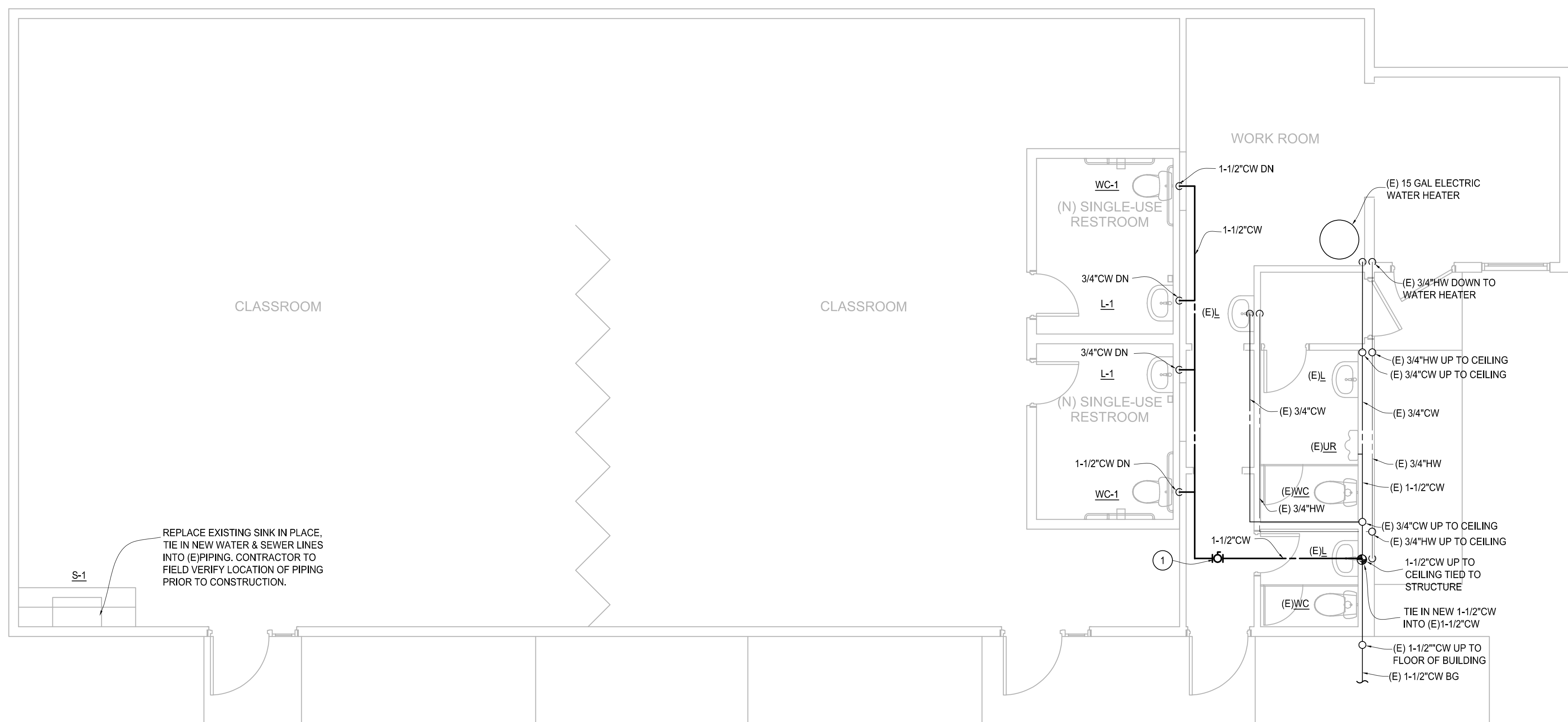
PLUMBING FLOOR PLANS

PD100



BUILDING E DEMOLITION FLOOR PLAN - WASTE AND VENT

SCALE: 1/4"=1'-0"



BUILDING E NEW WORK FLOOR PLAN - WATER

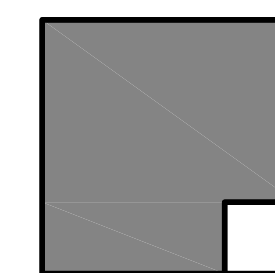
GENERAL NOTES

1. THE DESIGN OF THE PRODUCT WAS BASED UPON THE INFORMATION CONTAINED IN DRAWINGS PROVIDED BY THE ARCHITECT. DISCREPANCIES BETWEEN INDICATED AND ACTUAL FIELD CONDITIONS MAY EXIST. IT IS A REQUIREMENT THAT THE CONTRACTOR SHALL VISIT THE SITE AND WALK THE JOB BEFORE SUBMITTING THEIR BID AND SHALL MAKE ALL ALLOWANCES FOR PLAN/FIELD CONDITION DISCREPANCIES PRIOR TO SUBMITTING FOR BID. DURING THE CONSTRUCTION PROCESS, IF A DISCREPANCY IS FOUND TO EXIST, THE CONTRACTOR SHALL DETERMINE A FIELD SOLUTION TO RESOLVE THE PROBLEM, AND THEN FORWARD THIS INFORMATION TO THE ARCHITECT FOR SUBMITTAL TO THE ENGINEER FOR APPROVAL.

KEY NOTES

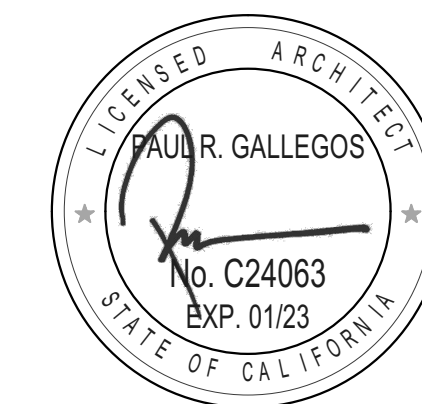
- ① PROVIDE ISOLATION VALVES FOR NEW CW LINE.
- ② CONTRACTOR TO FIELD VERIFY INVERT ELEVATION FOR EXISTING SEWER LINE TO TIE INTO FOR NEW SEWER LINE. ROUTING SHOWN FOR DIAGRAMMATIC PURPOSES.

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REVISIONS	
MARK	DESCRIPTION

PROJECT NO: #PIn
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22-005_MEUSD Pine Valley MS Preschool.pjn

PLOT DATE:
6/15/2022

SHEET TITLE

PLUMBING FLOOR PLANS

P100