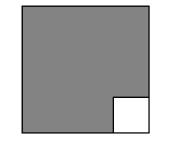
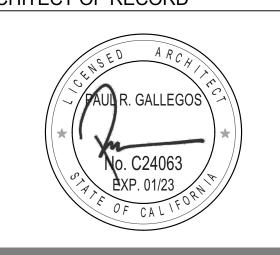
NEW PRESCHOOL PINE VALLEY MIDDLE SCHOOL

ALPHASTUDIO DESIGN GROUP



6152 INNOVATION WAY CARLSBAD, 92009 760-431-2444 www.alphastudio-design.com

ARCHITECT OF RECORD



ENGINEER OF RECORD

SHEET INDEX

SHEET TOTAL: 23

ARCHITECTURAL

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PLUMBING

P001 PLUMBING NOTES AND LEGEND PS100 PLUMBING OVERALL SITE PLAN PROJECT SCOPE

PROJECT DIRECTORY

MOUNTAIN EMPIRE UNIFIED

3291 BUCKMAN SPRING RD.

JOHNSON CONSULTING

12875 BROOKPRINTER PLACE

SCHOOL DISTRICT

PINE VALLEY, CA

ELECTRICAL:

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POWAY, CA 92064

P: 858-679-4030

CLIENT:

91962

ARCHITECT:

P: 760-431-2444

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6152 INNOVATION WAY

MECHANICAL/PLUMBING:

DEC ENGINEERS, INC.

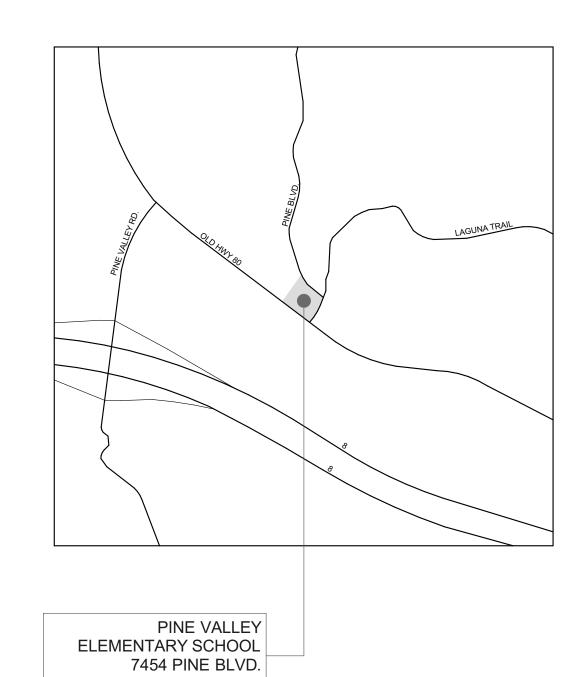
SAN DIEGO, CA 92121

P: 858-578-3270

THE SCOPE OF THE PROJECT INCLUDES THE DEMOLITION OF INTERIOR WALLS AND DOORS TO PROVIDE FOR (2) NEW SINGLE-USE RESTROOMS.

VICINITY MAP

PINE VALLEY, CA 91962



NEW PRE
PINE VALLEY MIDD
7454 PINE BLVD.
PINE VALLEY, CA 9190
MOUNTAIN EMPIRE

REVISIONS

MARK DATE DESCRIPTION

PROJECT NO: #PIn

MODEL FILE:
22-005_MEUSD Pine Valley MS Preschool.pln

PLOT DATE: 8/2/2022

SHEET TITLE

COVER SHEET

NEW PRESCHOOL PINE VALLEY MIDDLE SCHOOL

GENERAL CONSTRUCTION NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE CODES LISTED ON THIS SHEET. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILAR WITH ALL CODES AND ORDINANCES, CITY OR STATEAS REQUIRED FOR THE CONSTRUCTION OF THE FOLLWOING PROJECT. WHERE CONFLICTS OCCUR BETWEEN FEDERAL, STATE, AND LOCAL LAWS, CODES, ORDINANCES, AND REGULATIONS, THE MOST STRINGENT SHALL GOVERN.
- 2. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF BOTH THE UNIFORM BUILDING CODE AND TITLE 24, CALIFORNIA CODE OF REGULATIONS.
- 3. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF WORK. THE EXISTING CONDITIONS SHALL INCLUDE, BUT NOT BE LIMITED TO: IRRIGATION, DRAINAGE, SITE MEHCANICAL, PLUMBING, AND ELECTRICAL. THE CONTRACTOR SHALL NOTIFY THE ARCHTIECT OF ANY DISCREPANCIES IN SITE CONDITIONS AND CONTRACT DOCUMENTS. FAILURE TO NOTIFY WHILE PROCEEDING WITH WORK SHALL IMPLY ACCEPTANCE OF THE SITE CONDITIONS BY THE CONTRACTOR FOR THE WORK INTENDED.
- 4. THE CONTRACTOR SHALL PROVIDE ADEQUATE AND SAFE BRACING TO SUPPORT THE COMPONENTS OF THE STRUCTURE UNTIL THE STRUCTURE ITSELF, FLOOR AND ROOF DIAPHRAGMS ARE COMPLETE ENOUGH TO SUPPORT ITSELF. THE SAFETY AND ERECTION OF BRACING SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THERE ARE NO DISCREPENCIES BEWTEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTING ENGINEER'S DRAWINGS WHICH WOULD CAUSE A CONFLICT IN THE INSTALLATION OF THE SYSTEMS. IF SUCH A CONFLICT DOES OCCUR, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ALERT THE ARCHITECT TO THE SITUATION PRIOR TO INSTALLATION. ANY WORK INSTALLED IN CONFLICT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REMEDY WITH NO ADDITIONAL COST TO THE OWNER.
- 6. THE CONTRACTOR SHALL REFER TO THE SPECIFICATIONS FOR A COMPLETE LIST OF GENERAL CONDITIONS, SPECIAL CONDITIONS, AND MATERIAL INSTALLATION METHODOLOGY.
- 7. TYPICAL NOTES AND DETAILS SHALL APPLY UNLESS SHOWN OTHERWISE, WHERE A CONSTRUCTION DETAIL IS NOT SHOWN OR NOTED, THE DETAIL SHALL BE THE SAME AS FOR A SIMILAR CONDITION.
- 8. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS, SERVICES, POINTS OF CONNECTION, AND IRRIGATION LINES IN THE CONSTRUCTION AREA PRIOR TO COMMENCEMENT OF WORK. IF PROPER VERIFICATION IS NOT DONE PRIOR TO WORK COMMENCING, AND DAMAGE IS INCURRED THE CONTRACTOR SHALL REPAIR THE DAMAGE AT NO COST TO THE OWNER.
- 9. ALL DRAWINGS ARE FOR ILLUSTRATION ONLY, THE CONTRACTOR AND SUBCONTRACTORS, SHALL NOT LOCATE ITEMS BY SCALING. IF ITEMS ARE MISLOCATED DUE TO SCALING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND CORRECTLY INSTALLING THE ITEMS AT NO EXPENSE TO THE OWNER.
- 10. IT IS THE INTENT OF THESE DRAWINGS TO INDICATE A COMPLETE AND FINISHED PRODUCT AND / OR ABUTING EXISTING CONDITION IN A FINSHED AND PROFESSIONAL MANNER.
- 11. IT IS THE CONTRACTOR'S RESPONSIBILITY TO KEEP THE AREA AROUND THE WORK IN A CLEAN AND SAFE CONDITION. ALL TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER. AREA OF WORK SHALL BE COMPLETELY CLEANED AND READY FOR OCCUPANCY UPON COMPLETION OF WORK
- 12. ALL WORK SHALL CONFORM TO TITLE 24 CA CODE OF REGULATIONS. A COPY OF TITLE 24, PARTS 1-5, SHALL BE AVAILABLE ON THE JOBSITE AT ALL TIMES.
- 13. CHANGES TO THE APPROVED DRAWINGS SHALL BE MADE BY ADDENDA OR CONSTRUCTION CHANGE DOCUMENT (CCD) AS REQUIRED BY SEC. 4-338, PART 1, T-24, CCR. ALL ADDENDA AND CONSTRUCTION CHANGE DOCUMENTS SHALL BE SIGNED BY THE ARCHITECT.
- 14. THE PROJECT SHALL CONFORM TO CURRENT ADA STANDARDS 2019 CBC CHAPTER 11 B.
- 15. FOOD HANDLING FACILITIES SHALL COMPLY WITH ALL LOCAL HEALTH REQUIREMENTS AND CALIFORNIA UNIFORM RETAIL FOOD FACILITIES LAWS.
- 16. THE ARCHITECT AND OR ENGINEER SHALL MAKE PERIODIC SITE VISITS DURING CONSTRUCTION TO OBSERVE THE PROGRESS OF THE WORK AND VERIFY GENERAL CONFORMANCE TO THE PLANS AND SPECIFICATIONS IS BEING MET. THESE VISIT DO NOT CONSTITUTE A GUARANTEE OF THE CONTRACTOR'S WORK. A CONTRACTOR'S ERROR THAT GOES UNDETECTED DURING A PERIODIC VISIT DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR PROPERLY PERFORMING THE SCOPE OF THE PROJECT.
- 17. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ADJACENT STRUCTURES, PROPERTY, AND SITE FEATURES DURING CONSTRUCTION. ANY DAMAGE TO SUCH ITEMS SHALL BE PROMPTLY RESTORED TO THE SATISFACTION OF THE OWNER AND ARCHITECT.
- 18. CONTRACTORS AND SUBCONSTRATORS ARE REQUIRED TO SUBMIT THEIR BIDS BASED ON ALL DRAWINGS AND SPECIFICATIONS, NOT SOLELY THE SHEETS OR SECTIONS RELEVANT TO THEIR TRADE.
- 19. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE COMPLIMENTARY IN NATURE, HOWEVER IF A DISCREPANCY OCCURS BETWEEN THE TWO DOCUMENTS, THE MORE STRINGENT REQUIREMENT AND HIGHEST LEVEL OF QUALITY SHALL TAKE PRECENDENCE.
- 20. ALL DETAILS PROVIDED IN THE CONSTRUCTION DOCUMENTS ARE A PART OF THE CONSTRUCTION SCOPE REGARDLESS OF WHETHER THEY ARE SPECIFICALLY REFERENCED.

GENERAL DEMOLITION NOTES

- DEMOLITION PLANS REFERENCE GENERAL ITEMS AND CONDITION VARIATIONS MAY OCCUR WITHIN AREA OF DEMOLITION AND SHALL BE TREATED AS SIMILAR.
- 2. NOT ALL LOCATIONS FOR DEMOLITION MAY BE NOTED. CONTRACTOR SHALL REVIEW THE PROJECT REQURIEMENTS AND BE FAMLIAR WITH THE EXISTING SITE CONDITIONS FOR EVALUATION OF DEMOLITION WORK NECESSARY TO COMPLETE THE NEW WORK.
- 3. KEY NOTES REFERENCE GENERAL ELEMENTS FOR DISPOSAL OR SALVAGE. VARIOUS ASSOCIATED ITEMS MAY OCCUR AND SHALL BE REMOVED ACCORDING TO THE NEEDS AND DESIGN INTENT OF THE NEW CONSTRUCTION.
- 4. THE CONTRACTOR SHALL NOT REMOVE OR ALTER ANY BUILDING ELEMENTS OR SYSTEMS NECESSARY FOR THE BUILDING'S STRUCTURAL INTERGRITY WITHOUT PRIOR AUTHORIZATION FROM THE ARCHITECT AND/OR STRUCTURAL ENGINEER OF RECORD.
- CONTRACTOR SHALL NOT ALTER OR REMOVE ANY SHEAR WALLS OR BEARING WALLS UNLESS IDENTIFIED ON THE DRAWINGS WITH APPROPRIATE DETAILS. THE COTNRACTOR SHALL TAKE PRECAUTIONS DURING DEMOLITION AND CONSTRUCTION ACITIVITES TO NOT EFFECT THE EXISTING STRUCTURAL SYSTEM OF THE BUILDING. IF DURING THE COURSE OF THE WORK, ELEMENTS THAT ARE IDENTIFIED TO BE DEMOLISHED, BUT APPEAR STRUCTURAL IN NATURE AND NOT IDENTIFIED AS SUCH, THE CONTRACTOR SHALL NOTFIY THE ARCHITECT IMMEDIATELY. THE CONTRACTOR SHALL NOT PROCEED WITH THE DEMOLITION OF SUCH ELEMENTS WITHOUT THE DIRECTION OF THE ARCHITECT AND/OR STRUCTURAL ENGINEER OF RECORD.
- 6. AFTER THE DEMOLITION AND REMOVAL OF ELEMENTS, REPAIR AND RESTORE EXISTING FINISHES TO BE LEFT EXPOSED TO THEIR ORIGINAL CHARACTER. WHERE EXISTING FINISHES ARE TO BE HIDDEN WITH NEW MATERIALS, THOSE FINISHES SHALL BE RESTORED TO PROVIDE ADEQUATE SUITABILITY, STRENGTH, AND SUBSTRATE FOR NEW CONSTRUCTION AND FINISHES.
- 7. CONTRACTOR SHALL COMPLY WITH THE FOLLOWING SECTIONS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION:
 - 5-2 PROTECTION
 - 5-3 REMOVAL
 - 5-4 RELOCATION
 7-8 PROJECT SITE MAINTENANCE
 - 7-9 PROTECTION AND RESTORATION OF EXIST. IMPROVEMENTS 7-10 PUBLIC CONVENIENCE AND SAFETY
- 8. SAFETY DURING CONSTRUCTION SHALL COMPLY WITH CHAPTER 33 C.B.C. AND CHAPTER 33 C.F.C.
- 9. THE CONTRACTOR SHALL DISPOSE OF DEMOLITION MATERIALS IN A LEGAL AND ACCEPTABLE MANNER.
- 10. CONTRACTOR SHALL MAKE AVAILABLE TO OWNER ANY MATERIALS OR EQUIPMENT LISTED FOR DEMOLITION, DISPOSAL. REMOVAL, ETC. UPON OWNERS REQUEST. OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL SALVAGABLE ITEMS.
- 11. CONTRACTOR SHALL KEEP OPERATING EQUIPMENT OR MATERIALS INDICATED FOR REUSE, RELOCATION, OR OWNER RETENTION IN A SAFE MANNER TO PROTECT THE MATERIAL OR EQUIPMENT FROM DAMAGE.
- 12. THE CONTRACTOR IS RESPONSIBLE TO PERFORM ALL DEMOLITION WORK NECESSARY TO ALLOW EXECUTION OF ALL REQUIREMENTS OF THE NEW CONSTRUCTION UNDER THIS CONTRACT. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS.
- 13. THE RECORD DRAWINGS FOR THE FACILITIES TO BE MODERNIZED MAY BE AVAILABLE FROM THE DISTRICT FOR REFERENCE. CONTRACTOR SHALL REQUEST DRAWINGS OR OTHER OWNER SUPPLIED DOCUMENTS PRIOR TO BEGINNING DEMOLITION OR CONSTRUCTION ACTIVIITES. THE CONTRACTOR SHALL REVIEW THE RECORD DOCUMENTS TO DETERMINE ANY CONDITIONS WHERE CONFLICTS, HARDSHIPS, OR SIMILIAR ISSUES MAY ARISE. THE CONTRACTOR SHALL NOTIFY THE ARCHTIECT OF ANY CONDITIONS WHERE CONFLICTS MAY ARISE PRIOR TO DEMOLITION OR CONSTRUCTION ACTIVITIES.
- 14. AREA OF FLOOR SLAB OR PAVING DEMOLITION IS SHOWN AS AN APPROXIMATION ONLY TO DEFINE GENERAL SCOPE OF WORK. EXISTING CONDITIONS MAY REQUIRE A LARGER / DIFFERENTLY CONFIGURED AREA OF DEMOLITION. REMOVAL SHALL BE IN ACCORDANCE TO THE NEEDS AND DESIGN INTENT OF THE NEW CONSTRUCTION. COORDINATE DEMOLITION REQUIREMENTS WITH CIVIL, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DESIGN AND DRAWINGS.
- 15. ALL FLOOR SLAB AND/OR PAVING SAWCUTS SHALL BE DONE IN A MANNER THAT CREATES A SHARP, STRAIGHT, AND SQUARE EDGE. SAW CUT EDGES EXPOSED FOR LONG DURATIONS DURING CONSTRUCTION SHALL BE PROTECTED BY THE CONTRACTOR IN ORDER TO LIMIT CHIPPING OF CONCRETE EDGE. IF CHIPPING OR OTHER DAMAGE OCCURS, CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ADDITIONAL FLOOR SLAB AND/OR PAVING TO NEXT AVAILABLE JOINT OR AS DETERMINED BY ARCHITECT AT THE CONTRACTOR'S OWN COST.
- 16. WHERE EQUIPMENT AND/OR FIXTURES ARE INDICATED TO BE REMOVED ALL RELATED EXPOSED PIPING, CONDUITS, AND ASSOCIATED ITEMS SHALL ALSO BE REMOVED AND/OR PROPERLY TERMINATED TO PROVIDE COMPLETE DEMOLITION.
- 17. WHERE EXISTING CONSTRUCTION ELEMENTS (FRAMING, FINISHES, PIPES, CONDUITS, DUCTWORK, EQUIPMENT, ETC.) INTERFERE WITH THE INTENDED NEW CONSTRUCTION OR WOULD BE EXPOSED IN OTHERWISE 'FINISHED' AREAS, THESE ITEMS SHALL ALSO BE REMOVED AND/OR RELOCATED.
- 18. AT DEMOLITION OF DOORS, WINDOWS, FLASHINGS, SOFFITS, ETC. WHERE PLASTER IS DISTURBED AT FINISHES TO REMAIN, REMOVE PLASTER BACK 6" MINIMUM TO EXPOSE LATH TO PERFORM PROPER PLASTER PATCH.
- 19. REFER TO STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ALL DEMOLITION WORK SPECIFIC TO THOSE BUILDING SYSTEMS.
- 20. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REQUEST ANY HAZARDOUS ABATEMENT DOCUMENTS FOR THE SCOPE OF WORK TO FULLY UNDERSTAND THE EXTENT OF REMOVAL AND DISPOSAL REQUIREMENTS FOR THOSE MATERIALS.
- 21. ALL ABATEMENT WORK SHALL BE COMPLETED BY THE CONTRACTOR PRIOR TO DEMOLITION WORK.

GENERAL ACCESIBILITY NOTES

- 1. EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE. HAND-ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 36" TO 42" ABOVE THE FLOOR (PANIC HARDWARE SHALL BE BETWEEN 36" TO 44" ABOVE FIN. FLR.). LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND IN A PATH OF TRAVEL, SHALL BE OPENABLE WITH A SINGLE EFFORT BY LEVER-TYPE HARDWARE, BY EXIT DEVICE, OR PUSH-PULL ACTIVATING BARS. LOCKED EXIT DOORS SHALL OPERATE BY ABOVE IN DIRECTON OF EGRESS.
- 2. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5.0 POUNDS FOR EXTERIOR AND INTERIOR DOORS, SUCH PUSH OR PULL EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS.
- 3. DOOR CLOSERS AND GATES CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM.
- 4. THE FLOOR OR LANDING SHALL NOT BE MORE THAN 1/2 INCH LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGE IN LEVEL BETWEEN 1/4 AND 1/2 INCH SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1 UNIT VERTICAL TO 2 UNITS HORIZONTAL.
- 5. ACCESSIBLE FIXTURES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH CALIFORNIA PLUMBING CODE, 2019 EDITION.
- 6. EXPOSED LAVATORY P-TRAP ASSEMBLIES AND WATER SUPPLY LINES SHALL BE INSTALLED WITH REMANUFACTURED VINYL COVERED P-TRAP, VALVE, AND SUPPLY INSULATED COVER.
- THE FORCE REQUIRED TO OPERATE LAVATORYOR SINK FAUCETS SHALL BE NO GREATER THAN 5 POUNDS, SELF-CLOSING FAUCETS SHALL HAVE A MINIMUM 10 SECOND CYCLE TIME.
- 8. ALL ACCESSIBLE GATES WITHIN THE PATH OF TRAVEL SHALL HAVE NON-GRIP HARDWARE MOUNTED BETWEEN 34" TO 44" ABOVE FINISH PAVING. THERE SHALL BE 24" MINIMUM CLEAR SPACE PROVIDED AT THE STRIKE SIDE OF THE GATE FOR
- 9. ALL DIMENSIONS FOR ACCESSIBLE COMPONENTS, FEATURES, OR CLEAR FLOOR SPACE ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.

ACCESSIBLE MANEUVERING CLEARANCES.

- 10. WHERE FLOOR DRAINS ARE PROVIDED, FINISHED SURFACE SHALL SLOPE TO DRAIN NO MORE THAN 2% IN ANY DIRECTION. FLOOR DRAINS AND FLOOR SINKS SHALL HAVE 1/2" MAXIMUM GRATE OPENINGS IN ALL DIRECTION.
- 11. ACCESSIBLE PATH OF TRAVEL (POT) SHALL BE A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" BEVELED 1:2 MAX SLOPE OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX. POT SHALL BE AT LEAST 48" IN WIDTH WITH A STABLE, FIRM, AND SLIP RESISTANT SURFACE. CROSS SLOPE SHALL NOT EXCEED 2% MAX AND THE SLOPE IN THE DIRECTION OF TRAVEL SHALL NOT EXCEED 5%. POT SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM ABOVE FINISHED SURFACE AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM THE WALL AND 27" ABOVE FINISHED SURFACE, BUT LESS THAN 80" ABOVE FINISHED SURFACE. REFERENCE CBC 11B-202.4.
- 12. OPENINGS IN GRATINGS OR STRAINERS LOCATED IN THE PEDESTRIAN CIRCULATION PATHS OR PATH OF TRAVEL SHALL NOT ALLOW PASSAGE OF A SPHERE MORE THAN 1/2" DIAMETER. ELONGATED OPENINGS SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL IN COMPLIANCE WITH CBC 11B-302.
- 13. GATES IN THE PATH OF TRAVEL SHALL COMPLY WITH EXIT DOOR REQUIREMENTS.

DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT

THE PATH OF TRAVEL (POT) IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS, AND STRUCTURAL REPAIRS AS PART OF THE DESIGN OF THIS PROJECT. THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS, OR PORTIONS OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT HAVE BEEN IDENTIFIED AND, THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT THROUGH DETAILS, DRAWINGS, AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS.

ANY NONCOMPLIANT ELEMENTS, COMPONENTS, OR PORTIONS OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINIDNG OF UNREASONABLE HARDSHIP ARE INDICATED IN THESE CONSTRUCTION DOCUMENTS. DURING CONSTRUCTION, IF POT ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS COMPLIANT ARE FOUND TO BE NON-CONFORMING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGH INTO COMPLIANCE BY MEANS OF A CONSTRUCTION CHANGE CHANGE DOCUMENT (CCD).

APPLICABLE CODES/STANDARDS

2019 BUILDING STANDARDS ADMINISTRATIVE CODE PART 1, TITLE 24, C.C.R.

2019 CALIFORNIA BUILDING CODE (C.B.C.) PART 2, TITLE 24, C.C.R. (2018 I.B.C., VOL I -2 AND 2019 CA AMENDMENTS)

2019 CALIFORNIA ELECTRIC CODE (C.E.C.), PART 3, TITLE 24, C.C.R. (2017 N.E.C. AND 2019 CA AMENDMENTS)

2019 CALIFORNIA PLUMBING CODE (C.P.C.) PART 5 TITLE 24 C.C.R. (2018 U.P.C. AND 2019 CA

2019 CALIFORNIA MECHANICAL CODE (C.M.C.) PART 4, TITLE 24, C.C.R. (2018 U.M.C. AND 2019

2019 CALIFORNIA PLUMBING CODE (C.P.C.), PART 5, TITLE 24, C.C.R. (2018 U.P.C. AND 2019 CA AMENDMENTS)

2019 CALIFORNIA ENERGY CODE, PART 6, TITLE 24, C.C.R.

2016 ASME A 17.1 SAFETY CODE FOR ELEVATORS & ESCALATORS

2019 CALIFORNIA FIRE CODE, PART 9, TITLE 24, C.C.R. (2018 I.F.C. AND 2019 CALIF AMENDMENTS)

2019 CALIFORNIA GREEN BUILDING STANDARDS CODE, PART I I, TITLE 24, C.C.R.

2019 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24, C.C.R TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS

NFPA 13 - AUTOMATIC SPRINKLER SYSTEMS 2016 ED.

NFPA 14 - STANDPIPE SYSTEMS 2016 ED.

NFPA 17 - DRY CHEMICAL EXTINGUISHING SYSTEMS 2017 ED.

NFPA 17A - WET CHEMICAL SYSTEMS 2017 ED.

NFPA 20 - STATIONARY PUMPS 2016 ED.

NFPA 24 - PRIVATE FIRE MAINS 2016 ED.

NFPA 25 - STANDARD FOR INSPECTION, TESTING, & MAINTENANCE OF WATER-BASED FIRE PROTECTION SYSTEMS 2013 ED.

NFPA 72 - NATIONAL FIRE ALARM CODE (CA AMEND,) 2016 ED. (NOTE SEE UL STANDARD 1971 FOR "VISUAL DEVICES")

NFPA 80 - FIRE DOORS & OTHER OPENING PROTECTIVES 2016 ED.

NFPA 92 - STANDARD FOR SMOKE CONTROL SYSTEMS 2018 ED.

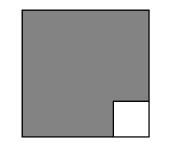
NFPA 253 - CRITICAL RADIANT FLUX OF FLOOR COVERING SYSTEMS 2019 ED.

NFPA 2001 - CLEAN AGENT FIRE EXTINGUISHING SYSTEMS 2018 ED.

UL 464 - AUDIBLE SIGNAL DEVICES 2003 ED.

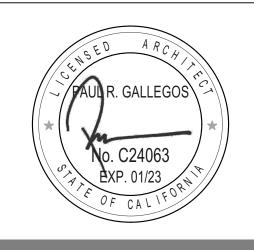
UL 521 - HEAT DETECTORS FOR FIRE PROTECTIVE SIGNALING SYSTEMS 1999 ED. REFERENCE CODE SECTION FOR NFPA STANDARDS 2019 C.B.C. (SFM) CHAPTER 35. SEE CHAPTER 35 FOR STATE OF CA AMENDMENTS TO NFPA STANDARDS.

ALPHASTUDIO DESIGN GROUP



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ARCHITECT OF RECORD



ENGINEER OF RECORD

NE VALLEY MIDDLE SCHOOL

S4 PINE BLVD.

NE VALLEY, CA 91962

DUNTAIN EMPIRE UNIFIED SCHOOL DIS

| REVISIONS | | | | | | | | | | | |
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PROJECT NO: #PIn

MODEL FILE:

22-005_MEUSD Pine Valley MS Preschool.pln

PLOT DATE: 8/2/2022

SHEET TITLE

APPLICABLE CODES AND GENERAL NOTES

FHC.

FIN.

FL.

FLR.

FOC.

FOF.

FOM.

FOS.

FS

FT.

FTG.

FUT.

FPRF.

FLOUR.

FIRE HOUSE CABINET

FACE OF CONCRETE

FACE OF MASONRY

FLOW LINE

FLOURESCENT

FACE OF FINISH

FACE OF STUD

FIREPROOFING

FINISH SURFACE

FLOOR

FOOT

FOOTING

FUTURE

NEW PRESCHOOL PINE VALLEY MIDDLE SCHOOL

ROOM ELEVATION

DETAIL REFERENCE

SECTION MARKER

DOOR IDENTIFICATION

WINDOW IDENTIFICATION

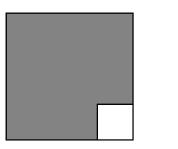
ROOM NAME/NUMBER MARKER

REVISION

KEYNOTE

EXTERIOR ELEVATION MARKER

ALPHASTUDIO DESIGN GROUP



TYPICAL SYMBOLS

'X' INDICATES CORRESPONDING

NUMBER REFERENCES FINISH

ELEVATION REFERENCE

SCHEDULE ELEVATION

CORRESPONDING SHEET

CORRESPONDING SHEET

CORRESPONDING SHEET

NUMBER OF ELEVATION

EXTERIOR ELEVATION NUMBER

ORIENTATION OF SECTION CUT

CORRESPONDING ROOM NUMBER

- BUILDING SECTION LETTER

CORRESPONDING SHEET

NUMBER OF SECTION

DOOR NUMBER

- WINDOW NUMBER

REVISION NUMBER

KEYNOTE NUMBER

TYPICAL WHERE NOTED. TYPICAL ITEMS

WILL NOT BE NOTED AT ALL LOCATION.

ARCHITECTURAL SPOT ELEVATION

(WHERE OCCURS)

NUMBER OF DETAIL

NUMBER OF ELEVATION

DETAIL NUMBER

X/4 < A-X.X

A-X.X

D000←

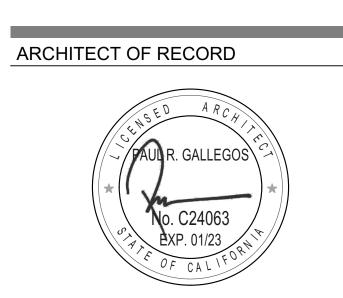
ROOM NAME

ROOM NUMBER

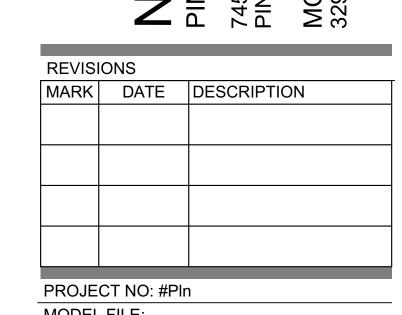
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ENGINEER OF RECORD



MODEL FILE: 22-005_MEUSD Pine Valley MS Preschool.pln PLOT DATE: 8/2/2022

SHEET TITLE

ABBREVIATIONS AND TYPICAL SYMBOLS

T-003

STANDARD ABBREVIATIONS AND STANDARD GAUGE ACOUSTIC TILE CEILING (ATC) IN SUSPENDED **GALV ANGLE** STL. STEEL GALVANIZED T-BAR CEILING GRID (2'X4') GB. STEEL GRAB BAR GENERAL CONTRACTOR STORAGE GL. STRUC **ANCHOR BOLT** STRUCTURAL GLASS GI. STRUCTURAL GALVANIZED IRON **ASPAHLT** GND. SUSPENDED GROUND A/C. **GPDW AIR CONDITIONING** SYMMETRICAL GYPSUM DRYWALL GYPSUM BOARD CEILING (INTERIOR) ACOUS. GRD. ACOUSTICAL STUCCO SOFFIT (EXTERIOR) AD. GV. **AREA DRAIN GATE VALVE TOWEL BAR** ADJ. T&B TOP AND BOTTOM **ADJUSTABLE GYPSUM AGGR** TOP OF CURB **AGGREGATE** HB. HOSE BIB AFF. ABOVE FINISH FLOOR **TELEPHONE HOLLOW CORE** HD. TEM. TEMPERED ALUMINUM HEAD AP. HDR. TER. **ACCESS PANEL** TERAZZO **HEADER** SUSPENDED LIGHT FIXTURE IN ATC APPRO) **HDW** TOP OF FOOTING **APPROXIMATE HARDWARE** HM. **ARCH** ARCHITECTURAL T&G **TONGUE AND GROOVE HOLLOW METAL** ASC. THK. ABOVE SUSPENDED CEILING **HDWD** HARDWARE AS. TOP OF PARAPET AUTOMATIC SPRINKLER HANDRAIL AUTO. **TOILET PAPER DISPENSER AUTOMATIC** HORIZONTAL LIGHT FIXTURE BD BOARD TOP OF STRUCTURE HEATING, VENTILATING, AIR CONDITIONING BFG. BELOW FINISH GRADE TELEPHONE TERMINAL BACKBOARD **INSIDE DIAMETER BITUM TELEVISION** BITUMINOUS INVERT ELEVATION BLDG TOW. TOP OF WALL **BUILDING INSIDE FACE** BLK. **BLOCK** TYP. **TYPICAL** BM. UNDERGROUND INCLUDE BRG INFO. **BEARING INFORMATION** UNF. UNFINISHED

UNLESS NOTED OTHERWISE UNLESS OTHERWISE NOTED URINAL UTILITY **VARIES VAPOR BARRIER** VINYL COMPOSITION TILE **VERTICAL** VESTIBULE **VERIFY IN FIELD** VENT THROUGH ROOF WEST WITH WATER CLOSET WALL CLEAN OUT WOOD WINDOW

WAINSCOT

WELDED WIRE FABRIC

WELDED WIRE MESH

WEIGHT

WATER HEATER WITHOUT WATERPROOF

EXISTING WALL TO REMAIN

EXISTING WALL TO BE DEMOLISHED

HATCH MAY VARY BASED ON RATING ——

RATED WALL (NEW OR EXISTING) WINDOW (NEW OR EXISTING)

WINDOW TO BE DEMOLISHED

DOOR (NEW OR EXISTING) DOOR TO BE DEMOLISHED

DIRECTION OF FLOW

CRICKET

ROOF DRAIN/OVERFLOW DRAIN

APPROXIMATE LOCATION OF PROTECTIVE **ROOF WALKTOP**

DEPTH DIMENSION —— LENGTH DIMENSION W.I.C. NUMBER P-LAM BACKSPLASH (WHERE OCCURS) -- HEIGHT DIMENSION P-LAM COUNTERTOP U.N.O. — ----- 'L' INDICATES LOCK LOCATION(S) **OPEN** CABINET DOORS NOT PERMITTED AT ACCESSIBLE - TOE KICK SINK LOCATIONS.

BRK. INSUL UNO BRICK INSULATION BOT. UON **BOTTOM** INTERIOR BTU **BRITISH THERMAL UNIT** INVERT CONDUIT **JANITOR** CAB. JST. VAR. CABINET **JOIST** CB. CATCH BASIN JOINT CD. CEILING DIFFUSER KIT. KITCHEN CEM. KP. **VERT** CEMENT KICK PLATE CER. CERAMIC KVA VEST. KILOVOLT AMPERES CF. **CUBIC FEET KILOWATT** VTR. CFM. CUBIC FEET PER MINUTE MAS. **MASONRY** MAT'L CG. CORNER GUARD **MATERIAL** MAX. CI. CAST IRON MAXIMUM CIP. MC. CAST IN PLACE MEDICINE CABINET WCO. MECH. CKT. BKR. CIRCUIT BREAKER **MECHANICAL** WD. CENTERLINE MFR. CL. MANUFACTURER **WDW** CLG. CEILING MANHOLE CLR. MIN CLEAR MINIMUM CMU. MIR CONCRETE MASONRY UNIT MIRROR CNTR MISC. COUNTER MISCELLANEOUS CO. MO. **CLEANOUT** MASONRY OPENING COTG. CLEANOUT TO GRADE MTD. MOUNTED WWF. MTL. COL. COLUMN METAL CONC WWM. CONCRETE MUL. MULLION CONN CONNECTION NORTH CPT. CARPET NOT IN CONTRACT CTR. CENTER NO. NUMBER CTSK. **NOM** COUNTERSINK NOMINAL NTS. CW. COLD WATER NOT TO SCALE OA. DRAIN **OUTSIDE AIR** O/A DBL. DOUBLE **OVERALL** DEPT DEPARTMENT OBS. **OBSCURE** DET. OC. DETAIL ON CENTER DF. DINKING FOUNTAIN OD. OUTSIDE DIAMETER DIA. DIAMETER OFFICE DIM. **DIMENSION** OH. OPPOSITE HAND DISP **DISPENSER** OPENING **OPPOSET** DMT **DEMOUNTABLE** OVHD. OVERHEAD DOWN DO. DOOR OPENING PAVING DR. PC. PRECAST CONCRETE DRAIN DS. PCC. **DOWNSPOUT** PORTLAND CEMENT CONCRETE PHP. PARTIAL HEIGHT PARTITION DWG. DRAWING PLT. DWR PLATE **DRAWER EXIST EXISTING** PROPERTY LINE PLAM PLASTIC LAMINATE **EAST** PLAS. PLASTER EA. EACH EF. PLYWD. PLYWOOD EXHAUST FAN PLBG. EJ. **PLUMBING EXPANSION JOINT** POC. ELEC. POINT OF CONNECTION ELECTRICAL POWER POLE ELEV. **ELEVATOR EMER PRCST EMERGENCY** PRE-CAST ENCL. PSI. POUNDS PER SQUARE INCH **ENCLOSURE** EP. ELECTRICAL PANELBOARD PT. PAPER TOWEL DISPENSER EQ. PTD. **EQUAL EQUIP EQUIPMENT PARTITION** PVMT. EW. **EACH WAY PAVEMENT** QT. EWC. ELECTRIC WATER COOLER **QUARRY TILE** EH. **EXHAUST** RISER **EXIST** RADIUS **EXISTING EXPO ROOF DRAIN EXPOSED** REF. EXP. REFERENCE **EXPANSION** EXT. REFR. REFRIGERATOR **EXTERIOR** FAS. REINF. REINFORCED **FASTNER** FA. REQUIRED **FIRE ALARM** REVISION **FACE BRICK** FCO. RESILIENT FLOOR CLEANOUT FLOOR DRAIN FDN. RO. ROUGH OPENING FOUNDATION FE. **RDWD** REDWOOD FIRE EXTINGUISHER FEC. FIRE EXTINGUISHER CABINET SOUTH FF. SOLID CORE FINISH FLOOR FG. SCHED. **SCHEDULE** FINISH GRADE SD. SOAP DISPENSER FH. FIRE HYDRANT

SECT.

SIM.

SMH

SND.

SOV.

SPEC.

SPKR.

SQ.

SS.

STA.

SECTION

SHELF

SHEET

SHOWER

SIMILAR

SQUARE FOOT

SEWER MANHOLE

SHUT OFF VALVE

SPECIFICATIONS

STAINLESS STEEL

SPRINKLER

SQUARE

STATION

SANITARY NAPKIN DISPENSER

AIR DIFFUSER (SUPPLY) AIR DIFFUSER (RETURN) FINISHED CEILING HEIGHT, WHERE HEIGHTS N'-N" ARE NOT INDICTAED REFER TO FINISH **NEW WALL**

> EXISTING ACCESSIBLE PATH OF TRAVEL (POT)

60" DIAMETER ACCESSIBLE CLEAR SPACE

30"X48" ACCESSIBLE CLEAR SPACE

NEW ACCESSIBLE PATH OF TRAVEL (POT)

TYPICAL CABINET DESIGNATION (BASE, FULL, OVERHEAD)

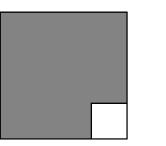
SITE PLAN

SCALE: 1/16" = 1'-0"

NOTES

- EXISTING BUILDING TO REMAIN N.I.C.
 EXISTING PROPERTY LINE.
- EXISTING 8'-0" HIGH CHAIN LINK FENCE TO REMAIN. 4. EXISTING LANDSCAPE AREA TO REMAIN - N.I.C.
- 5. EXISTING ASPHALT PAVING TO REMAIN. N.I.C. 6. EXISTING CONCRETE PAVING TO REMAIN. - N.I.C.
- 7. EXISTING ACCESSIBLE PATH OF TRAVEL.
- 8. EXISTING ACCESSIBLE PARKING TO REMAIN. EXISTING 16'-0" WIDE CHAIN LINK VEHICULAR GATE TO REMAIN.
- 10. HATCHING INDICATES NEW WORK IN EXISTING BUILDING. REFER TO SHEET A-201.





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GENERAL NOTES

ALL LANDSCAPE AREAS, PAVING, AND SURFACING DISTURBED BY THE WORK OF THIS CONTRACT SHALL BE REPAIRED AND/OR REPLACED BY THE CONTRACTOR TO ORIGINAL INDUSTRY STANDARD OF QUALITY. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO ELECTRICAL, SIGNAL, PLUMBING, ETC. THE CONTRACTOR SHALL PROTECT AND MAINTAIN EXISTING UTILITIES DURING CONSTRUCTION AND/OR TRENCHING.

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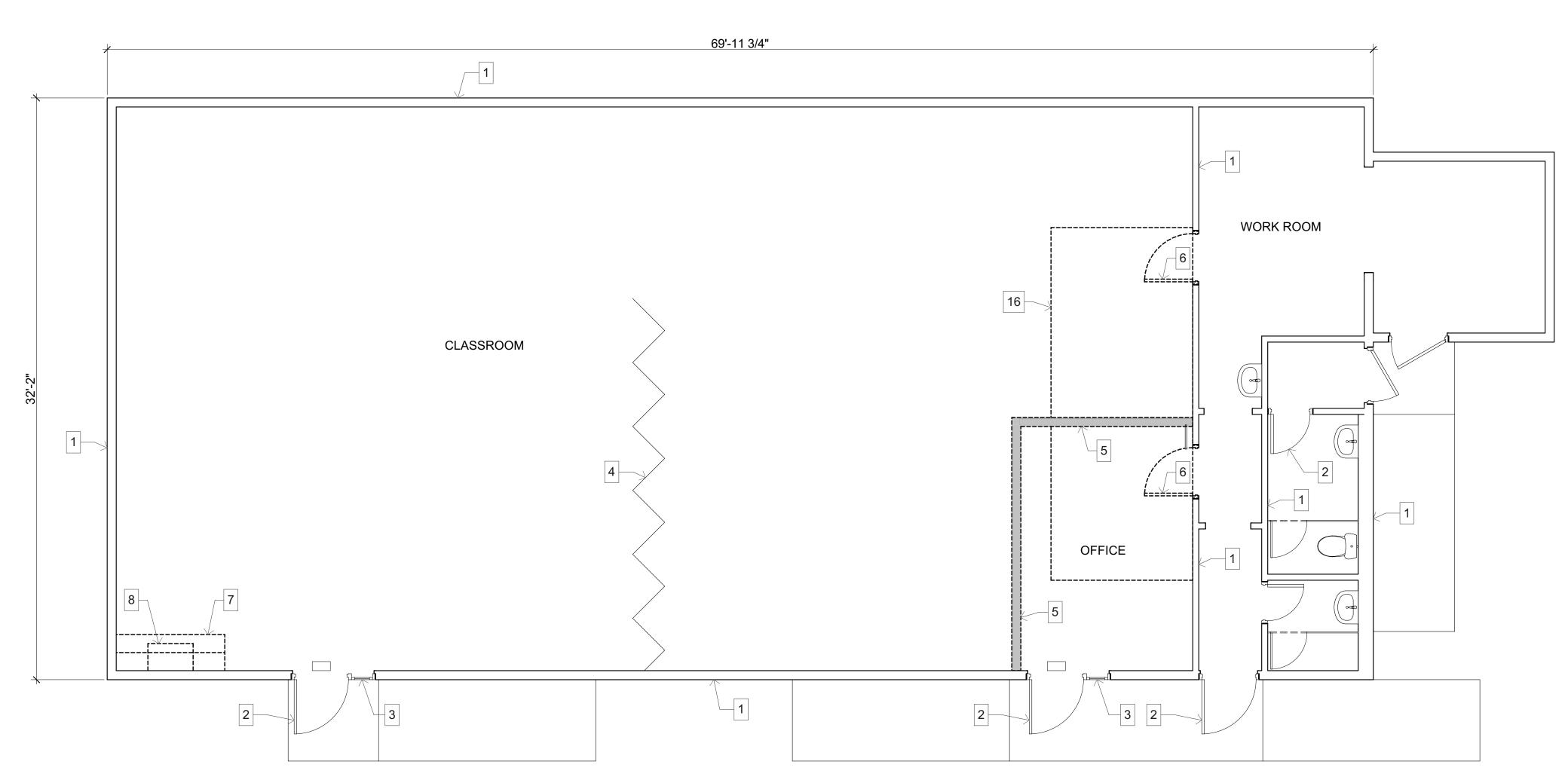
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PLOT DATE:

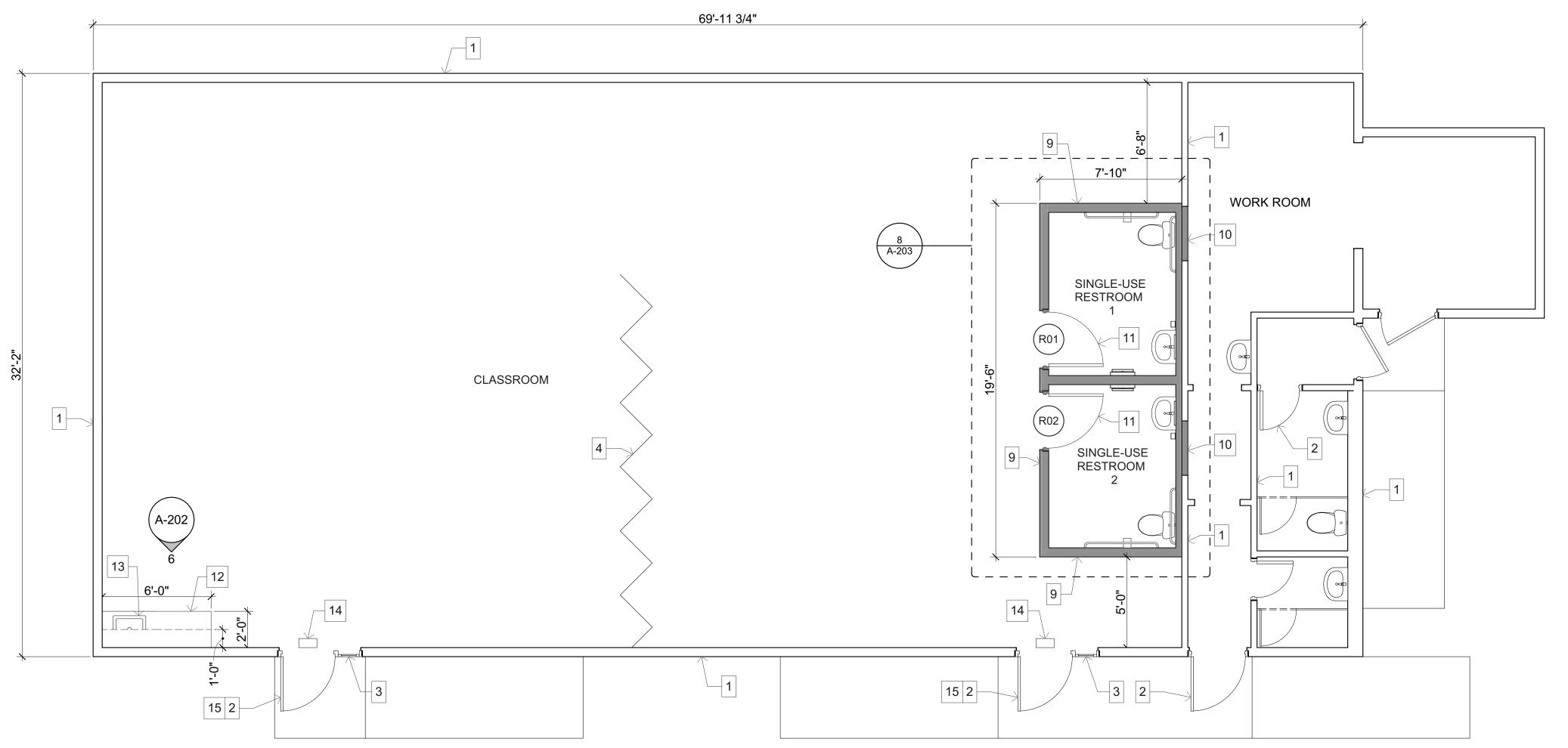
SHEET TITLE

OVERALL SITE PLAN





BUILDING E DEMO FLOOR PLAN SCALE: 1/4" = 1'-0"



BUILDING E NEW WORK FLOOR PLAN

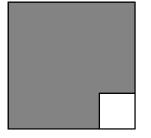
SCALE: 1/4" = 1'-0"



NOTES

- EXISTING WALL TO REMAIN.
- 2. EXISTING DOOR AND FRAME TO REMAIN.
- 3. EXISTING WINDOW TO REMAIN. 4. EXISTING MOVABLE PARTITION TO REMAIN - N.I.C.
- 5. DEMOLISH AND REMOVE EXISTING WALL. 6. DEMO AND REMOVE EXISTING DOOR AND FRAME. PREPARE FOR WALL
- 7. DEMO AND REMOVE EXISTING BASE CABINET AND UPPER WALL
- CABINET CASEWORK. 8. DEMO AND REMOVE EXISTING SINK.
- 9. NEW PARTITION WALL PER DETAILS 12 , 15 , 16 & 17/A-202 10. NEW WALL INFILL PER DETAIL 3/A-202 . FINISH TO MATCH EXISTING
- ADJACENT SURFACES.
- 11. NEW DOOR PER DETAILS 4 & 5/A-202. 12. NEW CASEWORK PER DETAILS 7 & 8/A-202.
- 13. NEW SINK PER DETAIL PER DETAIL 9/A-202 AND PLUMBING DRAWINGS.
- 14. EXISTING EXIT SIGN TO REMAIN.
- 15. EXISTING PANIC DOOR HARDWARE TO REMAIN. 16. REMOVE EXISTING CARPET FLOORING AT NEW RESTROOM LOCATION.

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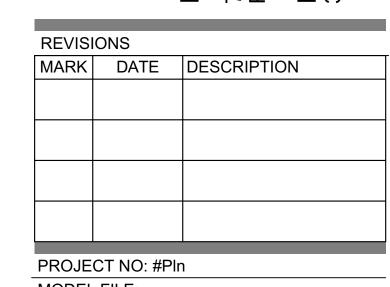
WALL LEGEND

EXISTING WOOD STUD WALL TO REMAIN

INTERIOR NON-RATED, NON-BEARING PARTITION WALL. 2X WOOD STUDS @ 16" O.C. WITH LAYER 5/8" GYP. BRD. EACH SIDE. REFER TO DETAILS 12, 15, 16 & 17/A-202.

EXISTING WALL TO BE DEMOLISHED AND





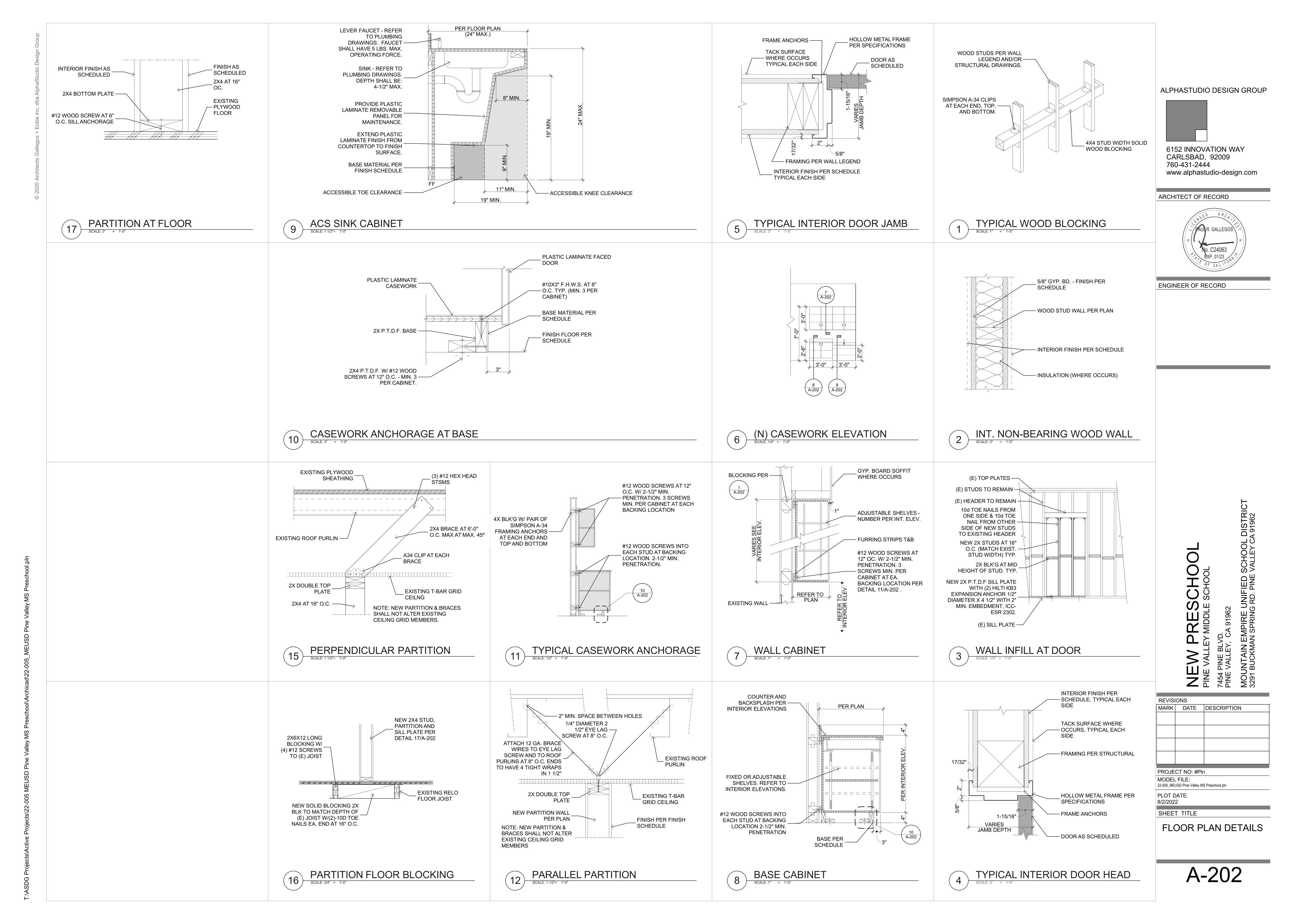
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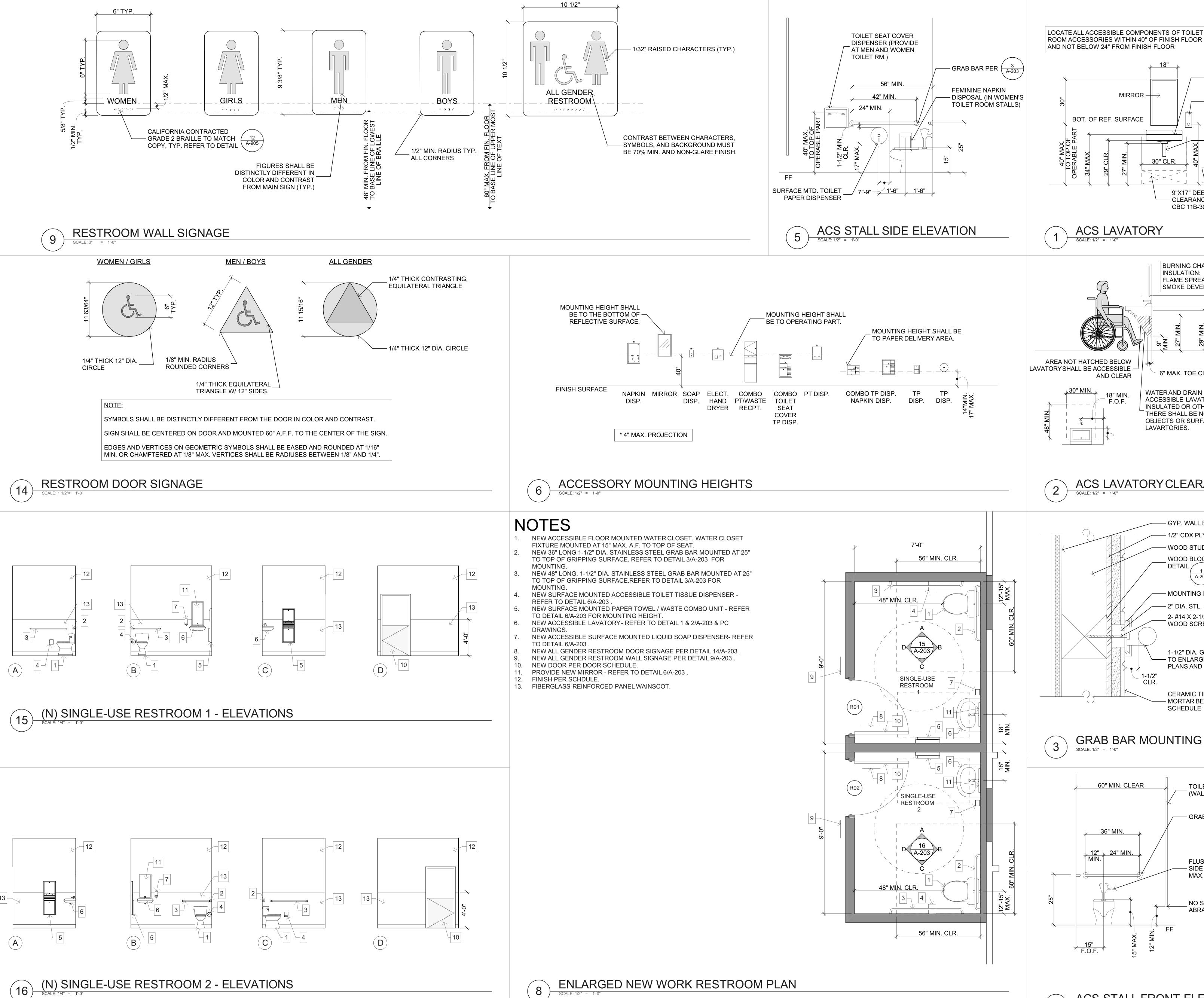
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SHEET TITLE

DEMO AND NEW WORK FLOOR PLANS





— LAVATORY SOAP DISPENSER MIRROR -(PROVIDED BY GENERAL CONTRACTOR) BOT. OF REF. SURFACE PROTECT WATER SUPPLY AND DRAIN PIPING W. **HEAT INSULATION** - FINISHED FLR. 9"X17" DEEP TOE

- CLEARANCE. PER

CBC 11B-306.2

OBJECTS OR SURFACES UNDER

LAVARTORIES.

ACS LAVATORY

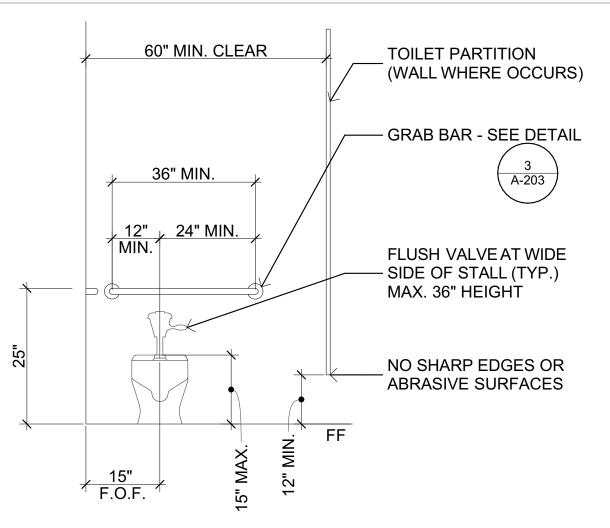
BURNING CHARACTERISTICS OF INSULATION: FLAME SPREAD LESS THAN 25 SMOKE DEVELOPED LESS THAN 50 AREA NOT HATCHED BELOW LAVATORY SHALL BE ACCESSIBLE -6" MAX. TOE CLEARANCE AND CLEAR WATER AND DRAIN PIPES UNDER ACCESSIBLE LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE

ACS LAVATORY CLEARANCES

SCALE: 1/2" = 1'-0"

– GYP. WALL BOARD - 1/2" CDX PLYWOOD - WOOD STUD FRAMING WOOD BLOCKING PER DETAIL / - MOUNTING PLATE BY BAR MFG'R — 2" DIA. STL. SLEEVE 2- #14 X 2-1/2" WOOD SCREWS 1-1/2" DIA. GRAB BAR REFER - TO ENLARGED RESTROM PLANS AND ELEVATIONS _1-1/2" CLR. **CERAMIC TILE OVER** - MORTAR BED PER FINISH SCHEDULE

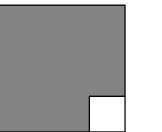
GRAB BAR MOUNTING AT WALL



4 ACS STALL FRONT ELEVATION

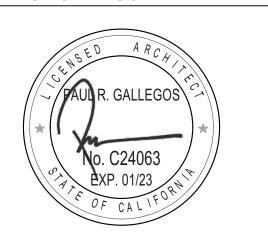
SCALE: 1/2" = 1'-0"

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REVISIONS MARK DATE DESCRIPTION PROJECT NO: #Pln MODEL FILE: 22-005_MEUSD Pine Valley MS Preschool.pln PLOT DATE: 8/2/2022

SHEET TITLE

ENLARGED RESTROOM PLANS, ELEVATIONS, & **DETAILS**

| | DOOR SCHEDULE | | | | | | | | | | | | | |
|--------------------------|---------------|------------------|-------------------|-------------------|------------------|---------------------------|-------------------|---------|---------|---------|--|--|--|--|
| ROOM NAME | DOOR ID | NOMINAL WIDTH | NOMINAL HEIGHT | LEAF THICKNESS | DOOR MATERIAL | DOOR FRAME MATERIAL | FRAME HEAD LAMB F | | FIRE | REMARKS | | | | |
| SINGLE-USE RESTROOM 1 | R01 | 3'-0" | 3'-4" | 1 3/4" | SC WOOD | НМ | 4/A-202 | 5/A-202 | Unrated | 1 | | | | |
| SINGLE-USE RESTROOM 2 | R02 | 3'-0" | 3'-4" | 1 3/4" | SC WOOD | НМ | 4/A-202 | 5/A-202 | Unrated | 1 | | | | |

GENERAL DOOR NOTES

- THE ARCHITECT AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING REQUIRED DOOR AND FRAME DIMENSIONS AND HARDWARE MOUNTING HEIGHTS IN FIELD PRIOR TO ORDERING AND INSTALLING NEW MATERIAL.
- ALL HARWARE INDICATED IN SCHEDULE SHALL BE PROVIDED FOR DOORS. HARDWARE SHALL MEET THE REQUIREMENTS OF CBC 11B-404.2.7.
- 3. DOOR JAMB AND HEAD CONDITIONS ARE DETAILED FOR THE MOST TYPICAL CONDITION.
- SIMILAR CONDITIONS MAY OCCUR AND SHALL BE TREATED IN A SIMILAR MANNER.

 DOORS/DOORWAYS AS PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH CBC SECTIONS

 11B-404
- THE CLEAR OPENING WIDTH FOR A DOOR SHALL BE 32" MINIMUM. FOR A SWINGING DOOR IT SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES. THERE SHALL BE NO PROJECTIONS INTO IT BELOW 34" AND 4" MAXIMUM PROJECTIONS INTO IT BETWEN 34" AND 80" ABOVE THE FINISH FLOOR OR GROUND. CBC SECTION 11B-404.2.3
- HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON ACCESSBILE DOORS SHALL COMPLY WITH CBC SECTION 11B-309.4 AND SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34" MINIMUM AND 44" MAXIMUM ABOVE FINISH FLOOR OR GROUND. WHERE SLIDING DOORS ARE IN THE FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. CBC SECTION 11B-404.2.7
- 7. THE FORCE FOR PUSHING OR PULLING OPEN A DOOR SHALL BE AS FOLLOWS: CBC SECTION 11B-404.2.9
 - -INTERIOR HINGED DOORS, SLIDING OR FOLDING DOORS, AND EXTERIOR HINGED DOORS: 5 POUNDS (22.2 N) MAXIMUM. REQUIRED FIRE DOORS: THE MINIMUM OPENING FORCE ALLOWABLE BY THE DSA AUTHORITY, NOT TO EXCEED 15 POUNDS (66.7 N). THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGED OTHER DEVICES THAT HOLD THE DOOR IN A CLOSED POSITION.

 -THE FORCE REQUIRED FOR ACTIVATING ANY OPERABLE PARTS, SUCH AS LEVER HARDWARE, OR DISENGAGING OTHER DEVICES SHALL BE 5 POUNDS (22.2 N) MAXIMUM TO COMPLY WITH CBC SECTION 11B-309.4
- 8. DOOR CLOSING SPEED SHALL BE AS FOLLOWS: CBC SECTION 11B-404.2.8
 -CLOSER SHALL BE ADJUSTED SO THAT THE REQUIRED TIME TO MOVE A DOOR FROM AN OPEN POSITION OF 90 DEGREES TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM.
 - -SPRING HINGES SHALL BE ADJUSTED SO THAT THE REQUIRED TIME TO MOVE A DOOR FROM AND OPEN POSITION OF 70 DEGREES TO THE CLOSED POSITION IS 1.5 SECONDS MINIMUM.
- 9. THRESHOLDS SHALL COMPLY WITH CBC SECTION 11B-404.2.5
 10. FLOOR STOPS SHALL NOT BE LOCATED IN THE PATH OF TRAVEL AND 4" MAXIMUM FROM WALLS.

DOOR SCHEUDLE REMARKS

1. 3'-4" HALF-HEIGHT DOOR IN 6'-8" HIGH FRAME.

DOOR HARDWARE

| 2 FA | HINGE | IVES 5BB 4.5 X 4.;5 | 652 FINISH |
|------|------------------|---------------------|------------|
| | = | , | |
| 1 EA | PASSAGE LATCHSET | SCHLAGE ND10S-RHO | 626 FINISH |
| 1 EA | WALL STOP | IVES WS406 | 530 FINISH |
| | | | |

| DOOR LEG | BEND |
|----------------------|-------------|
| ELEVATION | 3'-0" |
| NOMINAL SIZE (W X H) | 3'-0"×3'-4" |
| QUANTITY | 2 |
| REMARKS | 1 |

| | FINISH SCHEDULE | | | | | | | | | | | | | |
|--------------------------|-----------------|------|-----------|---------|---------|---------|----------|------|---------|---------------------|--|--|--|--|
| NIANAE | FI OOD | DACE | WALLS | | | | | | CEILING | | | | | |
| NAME | FLOOR | BASE | ELEV. 1 | ELEV. 2 | ELEV. 3 | ELEV. 4 | WAINSCOT | MAT. | HEIGHT | REMARKS | | | | |
| CLASSROOM | | B2 | W1*, FN1* | | | | | | | *At new walls only. | | | | |
| SINGLE-USE RESTROOM 1 | F1 | В3 | W2, FN1 | W2, FN1 | W2, FN1 | W2, FN1 | WT1 | | | | | | | |
| SINGLE-USE RESTROOM 2 | F1 | В3 | W2, FN1 | W2, FN1 | W2, FN1 | W2, FN1 | WT1 | | | | | | | |

| | RO | OM FINISH LEGEND | | | |
|----------|----------|---|----------|----------------|--|
| FLOOR | F1 F2 | SHEET VINYL FLOORING TILE FLOORING | WALLS | W1 W2 | GYPSUM DRYWALL - 5/8" WATER RESISTANT GYP. BRD. |
| CEILINGS | C1 C2 | ACOUSTICAL TILE CEILING (2X4) 5/8" GYPSUM BOARD | WAINSCOT | WT1 | FIBER REINFORCED PANELS |
| FINISHES | FN1 | PAINTED - SEMI-GLOSS | BASE | B1 B2 B3 | NONE RUBBER WALL BASE INTEGRAL COVE BASE |

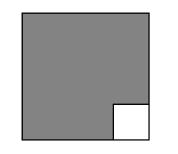
GENERAL NOTES

- ALL FINISHES SHALL BE IN COMPLIANCE WITH CCR. TITLE 19, 2019 CBC & 2019 CALIFORNIA FIRE CODE
 INTERIOR FINISH DECORATIVE MATERIALS AND FURNISHINGS SHALL COMPLY WITH 2019 C.F.C.
- FURNISHINGS SHALL COMPLY WITH 2019 C.F.C. SECTION 807.4.2 FOR GROUP 'A' OCCUPANCIES AND SECTION 807.4.3 FOR GROUP 'E' OCCUPNACIES

FINISH NOTES

1. 4'-0" HIGH FIBER REINFORCED PANELS (FRP) TO BE INSTALLED AT ALL WLS OF TOILET ROOMS.

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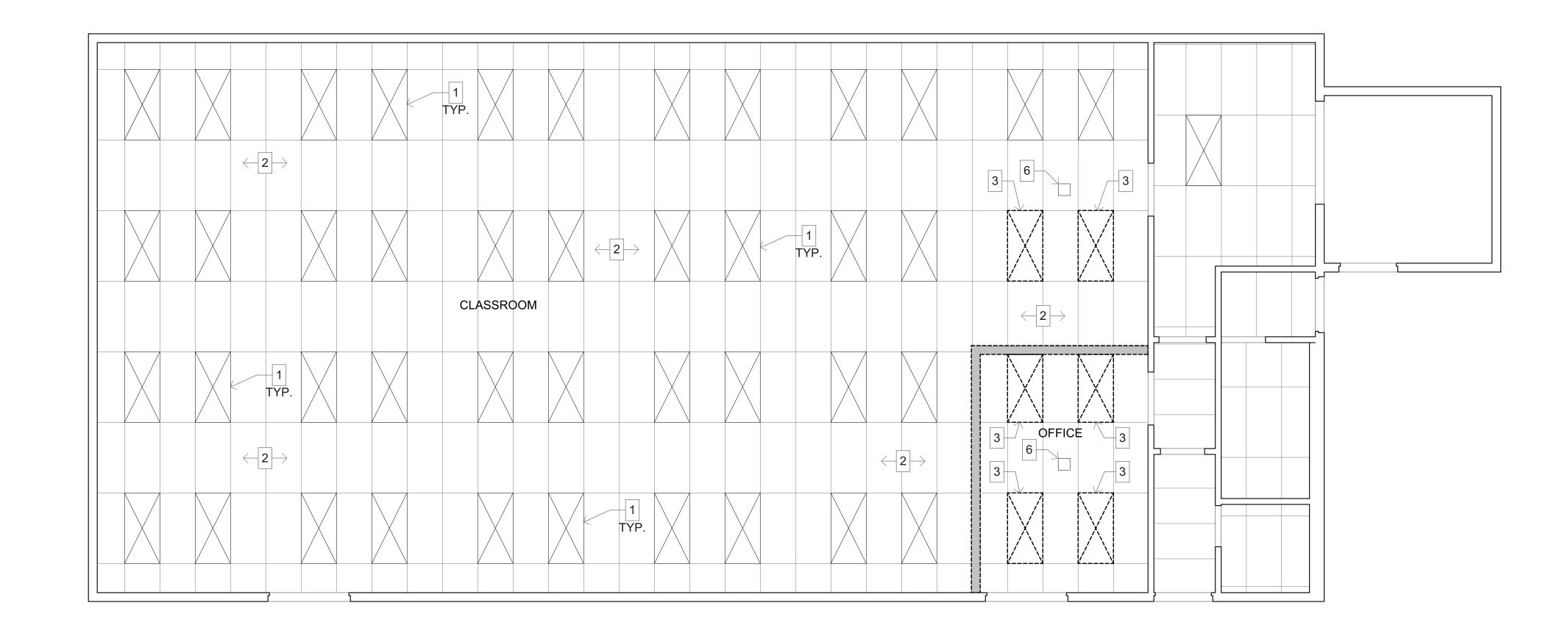
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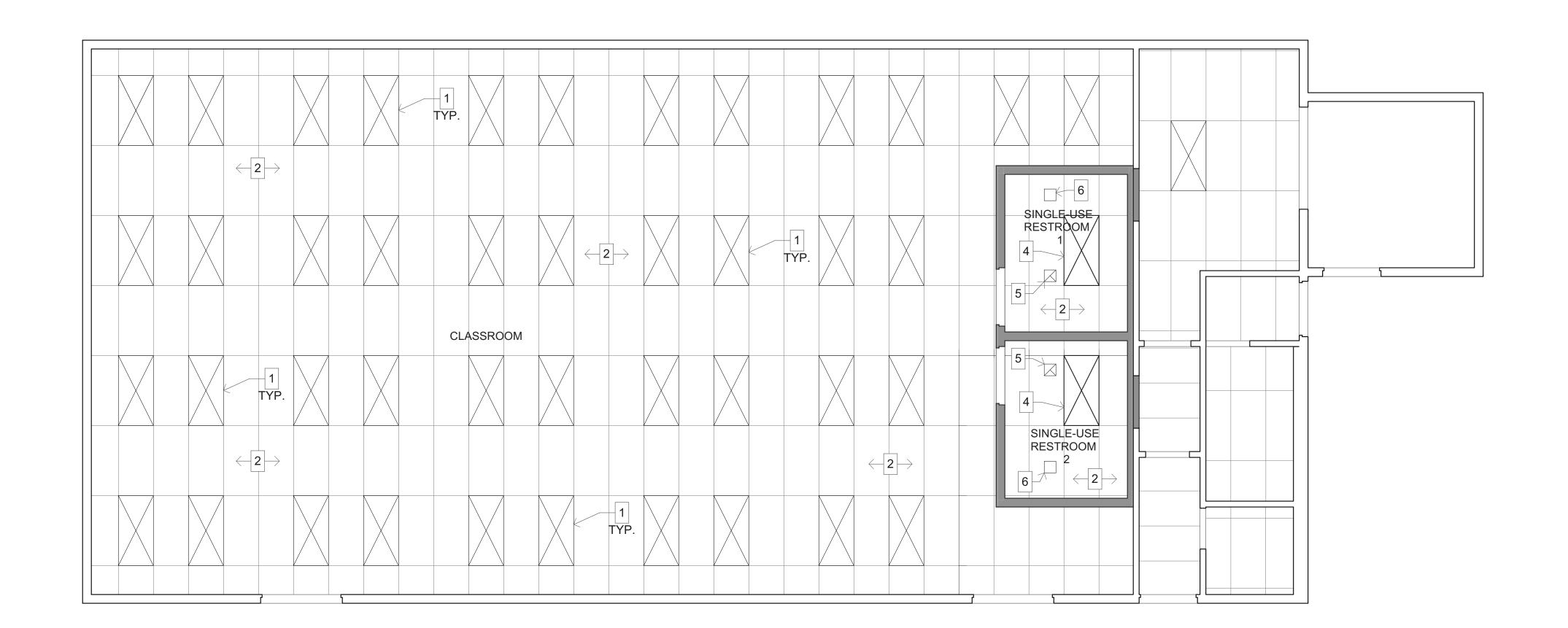
DOOR AND FINISH

A-204

SCHEDULE



DEMOLITION REFLECTED CEILING PLAN SCALE: 1/4" = 1'-0"



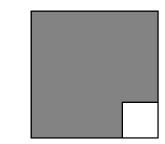
NEW WORK REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"

NOTES

- EXISTING LIGHT FIXTURE TO REMAIN.
- 2. EXISTING CEILING TILES TO REMAIN. DEMO AND REMOVE EXISTING LIGHT FIXTURE.
- 4. NEW LIGHT FIXTURE PER ELECTRICAL DRAWINGS.
- 5. NEW EXHAUST FAN PER MECHANICAL DRAWINGS.6. EXISTING HVAC DIFFUSER TO REMAIN.

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SHEET TITLE

REFLECTED CEILING **PLANS**

HVAC GENERAL NOTES

- CONTRACTOR SHALL CAREFULLY REVIEW THESE PLANS AND SPECIFICATIONS PRIOR TO BID. CONTRACTOR SHALL ALSO REVIEW PLANS AND SPECIFICATIONS OF OTHER RELATED TRADES (INCLUDING CIVIL, STRUCTURAL, AND ELECTRICAL) PRIOR TO BID TO ENSURE AN ACCURATE UNDERSTANDING OF EXACT SCOPE OF WORK. ANY ITEMS REQUIRING CLARIFICATION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN SUFFICIENT TIME TO BE INCORPORATED INTO THE BID.
- 2. CONTRACTOR SHALL VERIFY ALL EQUIPMENT MODEL NUMBERS, CAPACITIES, SIZES, VOLTAGES, AND ALL OTHER SCHEDULED INFORMATION WITH ALL OTHER APPLICABLE TRADES AND WITH THE MANUFACTURER PRIOR TO INSTALLATION.
- 3. CONTRACTOR SHALL VERIFY ALL LOCATIONS, SIZES, P.O.C.'s, AND AVAILABILITY OF ALL EXISTING ITEMS (I.E.: OUTSIDE AIR, CWS & CWR, EXHAUST ETC.) PRIOR TO INSTALLATION OF ANY MATERIAL OR EQUIPMENT.
- 4. THESE DRAWINGS ARE ESSENTIALLY DIAGRAMMATIC AND ARE NOT INTENDED TO INDICATE ALL NECESSARY OFFSETS OF DUCTWORK AND PIPING. THE CONTRACTOR SHALL INSTALL MATERIAL AND EQUIPMENT IN A MANNER AS TO CONFORM TO STRUCTURE, AVOID OBSTRUCTIONS, PRESERVE HEADROOM, AND KEEP OPENINGS AND PASSAGEWAYS CLEAR. ALL INSTALLATIONS SHALL BE CONSISTENT WITH NORMALLY ACCEPTABLE INDUSTRY STANDARDS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES OR CONFLICTS THAT WOULD AFFECT THE SYSTEM PERFORMANCE OR WHICH WOULD INCUR ADDITIONAL COSTS. THIS NOTIFICATION SHALL BE MADE PRIOR TO THE INSTALLATION OF THE ITEMS CONCERNED.
- 5. NEW AND/OR EXISTING EQUIPMENT INDICATED ON THIS DRAWING IS SHOWN IN APPROXIMATE POSITION(S). CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING EQUIPMENT LOCATIONS, P.O.C.'S AND STRUCTURAL MEMBERS PRIOR TO INSTALLATION. IN ALL CASES, ADEQUATE ACCESS (PER MANUFACTURER'S RECOMMENDATIONS AND CODE COMPLIANCE) FOR MAINTENANCE AND REPLACEMENT OF EQUIPMENT SHALL BE PROVIDED.
- 6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES. NOTHING SHOWN IN THE PLANS OR STATED IN THE SPECIFICATIONS IS INTENDED TO INDICATE THAT THE INSTALLATION OF CONNECTIONS OF ANY ITEM OR DEVICE SHOULD BE DONE CONTRARY TO THE MANUFACTURER'S INSTRUCTIONS AND ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT THE INSTALLATION AND CONNECTIONS OF ALL ITEMS AND DEVICES CONFORM TO MANUFACTURER'S INSTRUCTIONS AND TO ALL APPLICABLE CODES AND REGULATIONS.
- 7. ALL HVAC EQUIPMENT, MATERIAL, AND ALL CONNECTION THERETO SHALL BE INSTALLED COMPLETE PER MANUFACTURER'S INSTRUCTIONS TO PROVIDE A COMPLETE AND FULLY OPERATIONAL SYSTEM.
- 8. DUCT SIZES INDICATED ON DRAWINGS ARE INSIDE NET CLEARANCE DIMENSIONS.
- 9. CONTRACTOR MAY, AT HIS OPTION, REVISE DUCTWORK SIZING AND ROUTING TO ALLOW FOR INSTALLATION IN THE AVAILABLE SPACE. DUCTWORK THAT IS RESIZED MUST MAINTAIN THE SAME CROSS-SECTIONAL AREA. FLEX DUCT IS LIMITED TO A MAXIMUM OF 5'-0" AT EACH REGISTER.
- 10. ALL NEW SUPPLY, RETURN, AND EXHAUST (AIR DISTRIBUTION) GRILLES, REGISTERS, AND DIFFUSERS SHALL MATCH (IF APPLICABLE) EXISTING, AND BE APPROVED BY ARCHITECT. THE MAXIMUM NOISE NC LEVEL SHALL BE 35.
- 11. ALL SUPPLY, RETURN, AND EXHAUST REGISTER CONNECTIONS TO DUCTWORK SHALL BE PROVIDED WITH ACCESSIBLE MANUAL VOLUME DAMPERS. ALTERNATIVELY, ACCESSIBLE MANUAL VOLUME DAMPERS MAY BE PROVIDED IN DUCT WORK FEEDER LINES SERVING INDIVIDUAL REGISTERS.
- 12. SUBSTITUTION OF HVAC EQUIPMENT WITH EFFICIENCIES LOWER THAT THOSE INDICATED ON THE PLANS MAY REQUIRE RECALCULATION OF TITLE 24 DOCUMENTS. IF THE CONTRACTOR CHOOSES TO UTILIZE SUCH EQUIPMENT, HE ASSUMES FULL RESPONSIBILITY FOR THE RECALCULATION AND

JURISDICTIONAL APPROVAL OF TITLE 24 DOCUMENTS.

- 13. IF THE CONTRACTOR'S USE OF SUBSTITUTE MATERIALS, EQUIPMENT, OR METHODS OF INSTALLATION REQUIRES ANY CHANGES IN OTHER TRADES WORK FROM THAT SHOWN ON THE DRAWINGS, THE EXTRA COST OF THE OTHER TRADES WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR INITIATING THE SUBSTITUTION.
- 14. SUBMITTALS: APPROVAL OF SUBMITTALS DOES NOT RELEASE THE CONTRACTOR FROM OBLIGATIONS TO COMPLY WITH ALL REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS OR APPLICABLE CODE REGULATIONS.
- 15. WHERE NONMETALLIC PIPING PENETRATES AREA SEPARATION WALLS, THE PIPE SECTION PASSING THROUGH THE WALLS AND THE FIXTURE CONNECTIONS THERETO SHALL BE OF METAL ONLY.
- 16. NO RANGE HOODS, DRYER VENTS, COMBUSTION VENTS, OR HEATING DUCTS ARE PERMITTED IN AREA SEPARATION WALLS.
- 17. A. CONTRACTOR TO VERIFY LOCATION OF FIRE AND FIRE/SMOKE BARRIER WALLS WITH ARCHITECT PRIOR TO FIRE AND/OR SMOKE DAMPER, DETECTOR AND ACTUATOR INSTALLATION.
 B. ALL CEILING FIRE DAMPERS TO BE ONE (1) HOUR U.L. AND C.S.F.M. APPROVED.
- C. ALL FIRE RATED WALLS SHALL BE PROVIDED WITH U.L. AND C.S.F.M. APPROVED SMOKE/FIRE DAMPERS (EQUAL TO WALL RATING), MOTOR, ACTUATOR, AND SMOKE DETECTOR.
- D. ALL SMOKE BARRIER WALLS SHALL BE PROVIDED WITH U.L. AND C.S.F.M. APPROVED SMOKE/FIRE DAMPERS (EQUAL TO WALL RATING), MOTOR, ACTUATOR, AND SMOKE DETECTOR.
- E. ALL PENETRATIONS OF ONE (1) HOUR CORRIDOR WALLS AND CEILINGS THAT WOULD REQUIRE THE INSTALLATION OF A FIRE DAMPER SHALL BE APPROVED WITH A U.L. AND C.S.F.M. APPROVED COMBINATION SMOKE/FIRE DAMPER, (EQUAL TO WALL RATING), MOTOR, ACTUATOR, AND SMOKE DETECTOR.
- PROVIDE ALL FIRE & SMOKE DAMPERS WITH ACCESS DOORS AS NECESSARY.

MECHANICAL PLAN CHECK NOTES

- 1. ALL INSULATION MATERIAL SHALL COMPLY WITH THE LATEST CMC REQUIREMENTS. FLAME SPREAD-RATING OF 25 OR LESS AND A SMOKE DEVELOPED RATING OF 50 OR LESS.
- 2. HVAC PIPING AND DUCTWORK SYSTEMS SHALL BE INSULATED CONSISTENT WITH THE REQUIREMENTS OF SECTIONS 110.8, 120.3, AND 120.4 OF THE CALIFORNIA ENERGY EFFICIENCY STANDARDS, AND THE LATEST SECTIONS OF CALIFORNIA MECHANICAL CODE (CMC). FLAME SPREAD-RATING OF 25 OR LESS AND A SMOKE DEVELOPED RATING OF 50 OR LESS.
- 3. ALL HVAC EQUIPMENT AND APPLIANCES SHALL MEET THE REQUIREMENTS PER SECTIONS 110.1-110.3, 110.5 AND 120.1-120.9 OF THE CALIFORNIA ENERGY EFFICIENCY STANDARDS.
- 4. HVAC SYSTEMS AUTOMATIC CONTROLS SHALL COMPLY WITH THE CONTROL REQUIREMENTS PER SECTIONS 110,2 AND 120,2 OF THE CALIFORNIA ENERGY EFFICIENCY STANDARDS.

ALL MATERIALS EXPOSED WITHIN DUCTS OR PLENUMS, FLEXIBLE DUCTS AND DUCT INSULATION

- SHALL COMPLY WITH CMC SECTION 602.2 AND SHALL HAVE A FLAME SPREAD RATING OF NOT MORE THAN 25 AND A SMOKE DEVELOPED RATING OF NOT MORE THAN 50.
- 6. AT THE TIME OF PERMIT ISSUANCE, THE PERMITEE WILL PROVIDE AN APPROVED COPY OF THE CERTIFICATE OF COMPLIANCE (MECH-1) TO THE JURISDICTION FOR FILING.
- PROVIDE SMOKE DETECTORS ON AIR MOVING SYSTEMS EXCEEDING 2000 CFM AT SUPPLY AIR DUCTS.
- 8. FIRE AND/OR SMOKE DAMPER ASSEMBLIES, INCLUDING SLEEVES, AND INSTALLATION PROCEDURES SHALL BE APPROVED BY THE BUILDING INSPECTOR PRIOR TO INSTALLATION.
 9. ATTICS OR SIMILAR CONCEALED SPACE MUST BE PARTITIONED BY DRAFT STOPS INTO AREAS NOT

EXCEEDING 3000 SQ. FT. IN AREA AND 60 FT. IN LENGTH (EVERY 9000 SQ. FT. AND 100 FT. IN

SPRINKLED BUILDINGS).

STANDARD (PER CBC REQUIREMENTS).

- 10. AIR FILTERS SHALL BE A STATE FIRE MARSHALL APPROVED AND LISTED TYPE. PRE-FORMED FILTERS HAVING COMBUSTIBLE FRAMING SHALL BE TESTED AS A COMPLETE ASSEMBLY. AIR FILTERS IN ALL OCCUPANCIES SHALL BE CLASS 1 OR 2 (AS SHOWN IN THE STATE FIRE MARSHALL LISTING). AIR FILTERS SHALL BE ACCESSIBLE FOR CLEANING OR REPLACEMENT.
- 11. CERTIFICATE OF ACCEPTANCE AND ALL RELATED ACCEPTANCE DOCUMENTS SHALL BE SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL THESE FORMS ARE REVIEWED AND APPROVED.
- 2. PENETRATIONS IN FIRE-RESISTIVE WALLS, PARTITIONS AND FLOORS WHERE PROTECTED OPENINGS ARE REQUIRED SHALL BE FIRE STOPPED USING APPROVED MATERIALS, SECURELY INSTALLED AND CAPABLE OF MAINTAINING THEIR INTEGRITY AND PREVENTING THE MOVEMENT OF HOT FLAMES OR GASES THROUGH THE VOID SPACES BETWEEN PENETRATING MATERIALS AND WALLS, PARTITIONS AND FLOORS WHEN TESTED IN ACCORDANCE WITH LATEST ASTM OR
- 13. PROVIDE DESIGN DETAILS ON DRAWINGS DEPICTING APPROVED (LISTED) METHODS AND MATERIALS USED TO PROTECT PENETRATIONS IN WALLS, PARTITIONS AND FLOORS.
- 14. ELECTRICAL WIRING METHODS TO BE INSTALLED IN THE PLENUM AREAS SHALL COMPLY WITH THE LATEST SECTIONS AND REQUIREMENTS OF NEC AND CMC.
- 15. NONMETALLIC PNEUMATIC TUBING MUST BE LISTED AND LABELED FOR USE IN PLENUM AREAS.
- 16. AT THE TIME OF ROUGH INSTALLATION AND DURING STORAGE ON THE CONSTRUCTION SITE UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF DUST, WATER AND DEBRIS WHICH MAY ENTER THE SYSTEM.
- 17. IN MECHANICALLY VENTILATED BUILDINGS, REGULARLY OCCUPIED AREAS OF THE BUILDING SHALL BE PROVIDED WITH AIR FILTRATION MEDIA FOR OUTSIDE AND RETURN AIR THAT PROVIDES AT LEAST A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 13. MERV 13 FILTERS SHALL BE INSTALLED IN ACCORDANCE WITH THE OPERATION AND MAINTENANCE MANUAL.
- 18. INSTALLATIONS OF HVAC, REFRIGERATION AND FIRE SUPPRESSION EQUIPMENT SHALL COMPLY WITH WITH THE REQUIREMENTS OF THE LATEST CMC. HVAC, REFRIGERATION, AND FIRE SUPPRESSION EQUIPMENT SHALL NOT CONTAIN CHLOROFLUOROCARBONS (CFC'S) AND ALL SHALL NOT CONTAIN HALONS
- 19. IN ADDITION TO TESTING AND ADJUSTING, BEFORE A NEW SPACE-CONDITIONING SYSTEM SERVING A BUILDING OR ITS SPACE IS OPERATED FOR NORMAL USE, BALANCE THE SYSTEM IN ACCORDANCE WITH PROCEDURES DEFINED BY THE TESTING ADJUSTING AND BALANCING BUREAU NATIONAL STANDARDS, THE NATURAL ENVIRONMENTAL BALANCING BUREAU PROCEDURES STANDARDS, OR ASSOCIATED AIR BALANCE COUNCIL NATIONAL STANDARDS.
- 20. PROVIDE THE BUILDING OWNER OR REPRESENTATIVE WITH DETAILED OPERATING AND MAINTENANCE INSTRUCTIONS AND COPIES OF GUARANTEES/WARRANTEES FOR EACH SYSTEM.

 O&M INSTRUCTIONS SHALL BE CONSISTENT WITH THE LATEST OSHA REQUIREMENTS AND OTHER RELATED REGULATIONS.

| | EXHAUST FAN SCHEDULE | | | | | | | | | | | |
|---------|---|----------|--------------|------|------------------|-----------|------------------|-------------|-------------------------------|---------|--|--|
| MARK | MANUFACTURER & MODEL NO. | LOCATION | ROOMS SERVED | TYPE | AIRFLOW (CFM) | ESP (IN.) | ELECT V/PH/HZ | RICAL HP | OPERATING WEIGHT (LBS.) | REMARKS | | |
| EF 1 | EF 120 ACEB ROOF RESTROOMS DOWN BLAST 200 1 120/1/60 1/4 50 1 | | | | | | | | | | | |
| 1 PROV | 1) PROVIDE WITH MANUFACTURER ROOF CURB, BACKDRAFT DAMPER, AND BIRDSCREEN. | | | | | | | | | | | |

| | AIR DISTRIBUTION DEVICE SCHEDULE | | | | | | | | | |
|----------------------|----------------------------------|----------------|--------------------|--------------------------|----------------------|-----------|-----------------|--------------------------------|----------------|---------|
| I | MARK | MANUF. & MODEL | SERVICE | NECK SIZE | CFM | FACE SIZE | CEILING TYPE | TYPE | FINISH | REMARKS |
| $\overline{\langle}$ | C | TITUS PAR | RETURN/ EXHAUST | MATCH DUCT INLET SIZE | AS NOTED ON PLANS | 12x12 | GYP. BD. | PERFORATED FACE CEILING GRILLE | REFER TO ARCH. | _ |

MECHANICAL LEGEND

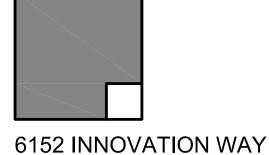
| SYMBOL | ABBREV | DESCRIPTION | ABBREV | DESCRIPTION | ABBREV | DESCRIPTION |
|-------------------|--------|--|------------|--|--------------|---|
| \bigcirc | POD | POINT OF DISCONNECTION | BEL | BELOW | ICW | INDUSTRIAL COLD WATER |
| lacksquare | POC | POINT OF CONNECTION | ВТ | BUFFER TANK | IN W.C. | INCHES WATER COLUMN |
| <i> </i> | | REMOVE EXISTING EQUIPMENT OR PIPES SHOWN HATCHED | BTU | BRITISH THERMAL UNITS | IWR | INDUSTRIAL WASTE RECEPTOR |
| | | DUCT WITH ACOUSTIC DUCT LINER | BTUH | BRITISH THERMAL UNITS PER HOUR | KW | KILOWATT |
| | | DUCT SECTION - POSITIVE PRESSURE | CA | COMBUSTION AIR | LAT | LEAVING AIR TEMPERATURE |
| | | DUCT SECTION - NEGATIVE PRESSURE | CD | CEILING DIFFUSER | LBS | POUNDS |
| | | DUCT SECTION - EXHAUST | CFM | CUBIC FEET PER MINUTE | MA | MAKE-UP AIR |
| \boxtimes | SAD | SUPPLY AIR DIFFUSER | СН | CHILLER | MAX | MAXIMUM |
| | RAG | RETURN AIR GRILLE | CI | CAST IRON | MCA | MAXIMUM CIRCUIT AMPERAGE |
| | EAG | EXHAUST AIR GRILLE | CIRC | CIRCULATING | мсс | MOTOR CONTROL CENTER |
| | DL/UC | DOOR LOUVER OR UNDERCUT | CLG | CEILING | MECH | MECHANICAL |
| | AP | ACCESS PANEL | CLR | CLEAR | MFR | MANUFACTURER |
| T | | ROOM THERMOSTAT AND ZONE NUMBER/TEMPERATURE SENSOR | СМИ | CONCRETE MASONRY UNIT | MIN | MINIMUM |
| © | | ROOM CARBON MONOXIDE SENSOR | СОМР | COMPRESSOR | МОСР | MAXIMUM OVER-CURRENT PROTECTION |
| <u>©</u> | | ROOM CARBON DIOXIDE SENSOR | CONC | CONCRETE | MTD | MOUNTED |
| (SD) | SD | DUCT SMOKE DETECTOR | CONN | CONNECT OR CONNECTION | MUW | MAKE-UP WATER |
| (TP) | TP | TEST PORT | CONT | CONTINUATION | (N) | NEW |
| | | PIPE DOWN | CONTR | CONTRACTOR | NC | NORMALLY CLOSED |
| | | PIPE UP | CRAC | COMPUTER ROOM AIR CONDITIONING UNIT | N.I.C. | NOT IN CONTRACT |
| | | PIPE BRANCH-TOP CONNECTION | СТ | COOLING TOWER | NO | NUMBER |
| | | PIPE BRANCH-BOTTOM CONNECTION | CU | CONDENSING UNIT | NO | NORMALLY OPEN |
| | | SUT-OFF VALVE IN RISE OR DROP | DB | DRY BULB | NPSH | NET POSITIVE SUCTION HEAD |
| —CWS— | CWS | CONDENSER WATER SUPPLY | DEGF | DEGREE FAHRENHEIT | NTS | NOT TO SCALE |
| —CWR— | CWR | CONDENSER WATER RETURN | DN | DOWN | OA | OUTSIDE AIR |
| —CHWS— | CHWS | CHILLED WATER SUPPLY | DTR | DOWN THRU ROOF | PSI | POUNDS PER SQUARE INCH |
| —CHWR— | CHWR | CHILLED WATER RETURN | DWGS | DRAWINGS | PSIG | POUNDS PER SQUARE INCH GAUGE |
| —HHWS— | HHWS | HEATING HOT WATER SUPPLY | (E) | EXISTING | PVC | POLYVINYL CHLORIDE |
| HHWR | HHWR | HEATING HOT WATER RETURN | EA | EXHAUST AIR | QTY | QUANTITY |
| HPS | HPS | HIGH PRESSURE STEAM (250 PSIG AND UP) | EAG | EXHAUST AIR GRILLE | RA | RETURN AIR |
| BBD | BBD | BOILER BLOW DOWN | EAT | ENTERING AIR TEMPERATURE | RAG | RETURN AIR GRILLE |
| ——СР—— | CP | CONDENSATE PUMP DISCHARGE | EF | EXHAUST FAN | RAR | RETURN AIR REGISTER |
| CD | CD | CONDENSATE DRAIN | ELECT | ELECTRICAL | RF | RETURN FAN |
| D | D | DRAIN | ELEV | ELEVATION | RFI | REQUEST FOR INFORMATION |
| RL | RL | REFRIGERANT LIQUID | ESP | EXTERNAL STATIC PRESSURE | RFP | REQUEST FOR PROPOSAL |
| RS | RS | REFRIGERANT SUCTION | ET | EXPANSION TANK | SA | SUPPLY AIR |
| <u> </u> | MOD | MOTOR OPERATED DAMPER | (ETR) | EXISTING TO REMAIN | SAG | SUPPLY AIR GRILLE |
| | MVD | MANUAL VOLUME DAMPER | FC | FAN COIL | SAR | SUPPLY AIR REGISTER |
| <u> </u> | SFD | COMBINATION SMOKE AND FIRE DAMPER | FLR | FLOOR | SF | SUPPLY FAN |
| /// | OBD | OPPOSED BLADE DAMPER | FPM | FEET PER MINUTE | SHT | SHEET |
| \longrightarrow | GV | GATE VALVE | FT | FEET OR FOOT | sov | SHUT OFF VALVE |
| | GLV | GLOBE VALVE | FUT | FUTURE | SS | STAINLESS STEEL |
| - | CHV | CHECK VALVE | GA | GAUGE | ST | PLANT STEAM |
| <u> </u> | BV | BALL VALVE | GALV | GALVANIZED | STRUCT | STRUCTURAL |
| | BFV | BUTTERFLY VALVE | GI | GRAVITY INTAKE | TEMP | TEMPERATURE |
| <u> </u> | TDV | TRIPLE DUTY VALVE - CHECK / BALANCING / SHUT-OFF | GM | GAS METER | TYP | TYPICAL |
| | RED | REDUCER | GPH | GALLONS PER HOUR | UH | UNIT HEATER |
| | STR | STRAINER | GPM | GALLONS PER MINUTE | UNO | UNLESS NOTED OTHERWISE |
| | U | UNION | GR GR | GRADE | UTR | UP THRU ROOF |
| <u> </u> | PG | PRESSURE GAUGE | GR | GRAVITY RELIEF | V / PH / HZ | VOLTS / PHASE / HERTZ |
| | Т | THERMOMETER | GV | GRAVITY VENTILATOR | VAV | VARIABLE AIR VOLUME |
| <u></u> | AV | AIR VENT | HD | HEAD | VFD | VARIABLE FREQUENCY DRIVE |
| | CV | CONTROL VALVE - 2-WAY | HDR | HEADER | VOL | VOLUME |
| | CV | CONTROL VALVE - 3-WAY | HOA | HAND - OFF - AUTOMATIC | VTR | VENT THRU ROOF |
| | PRV | PRESSURE REDUCING VALVE | HP | HORSEPOWER | W / | WITH |
| | P&T | PRESSURE AND TEMPERATURE RELIEF VALVE | HR | HOUR | WC WC | WATER COLUMN |
| | PGV | PLUG VALVE | HV/HVU | HEAT VENT UNIT | WPD | WATER PRESSURE DROP |
| ! ! | TW | TEST WELL | НХ | HEAT EXCHANGER | WT | WEIGHT |
| | ABV | ABOVE | 177 | | ''' | |
| | AFF | ABOVE FINISHED FLOOR | <u>DIF</u> | FUSER / REGISTER OR GRILLE TYPE | EQ | UIPMENT IDENTIFICATION SYMBOL |
| | AFG | ABOVE FINISHED GRADE | / | DIFFUSER / REGISTER TYPE | / | EQUIPMENT TYPE |
| | AFG | ABOVE FINISHED GRADE AIR HANDLING UNIT | | | | EQUIPMENT IDENTIFIER |
| | | ARCHITECT OF RECORD | | L AIR QUANTITY (CFM) | | EQUIFINENT IDENTIFIER |
| | AOR | | CAV | V/EAV/EC IDENTIFICATION SYMPO | | |
| | AP | ACCESS PANEL | <u>SA</u> | V/EAV/FC IDENTIFICATION SYMBOL | M FURNIS | SHED AND INSTALLED BY MECHANICAL |
| | AS | AIR SEPARATOR | ∠ | EQUIP TYPE | | |
| | ARCH | ARCHITECT OR ARCHITECTURAL | \ | 2.1.1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 | ME FURNIS | SHED BY MECHANICAL AND INSTALLED BY RICAL |
| | B/F | BELOW FLOOR | | NUMBERING SEQUENCE | | |
| | B/G | BELOW GRADE | | └─ FLOOR | E FURNIS | SHED AND INSTALLED BY ELECTRICAL |

L____ ASSOCIATED AHU / EF / VRF

BELOW SLAB

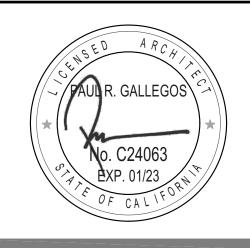
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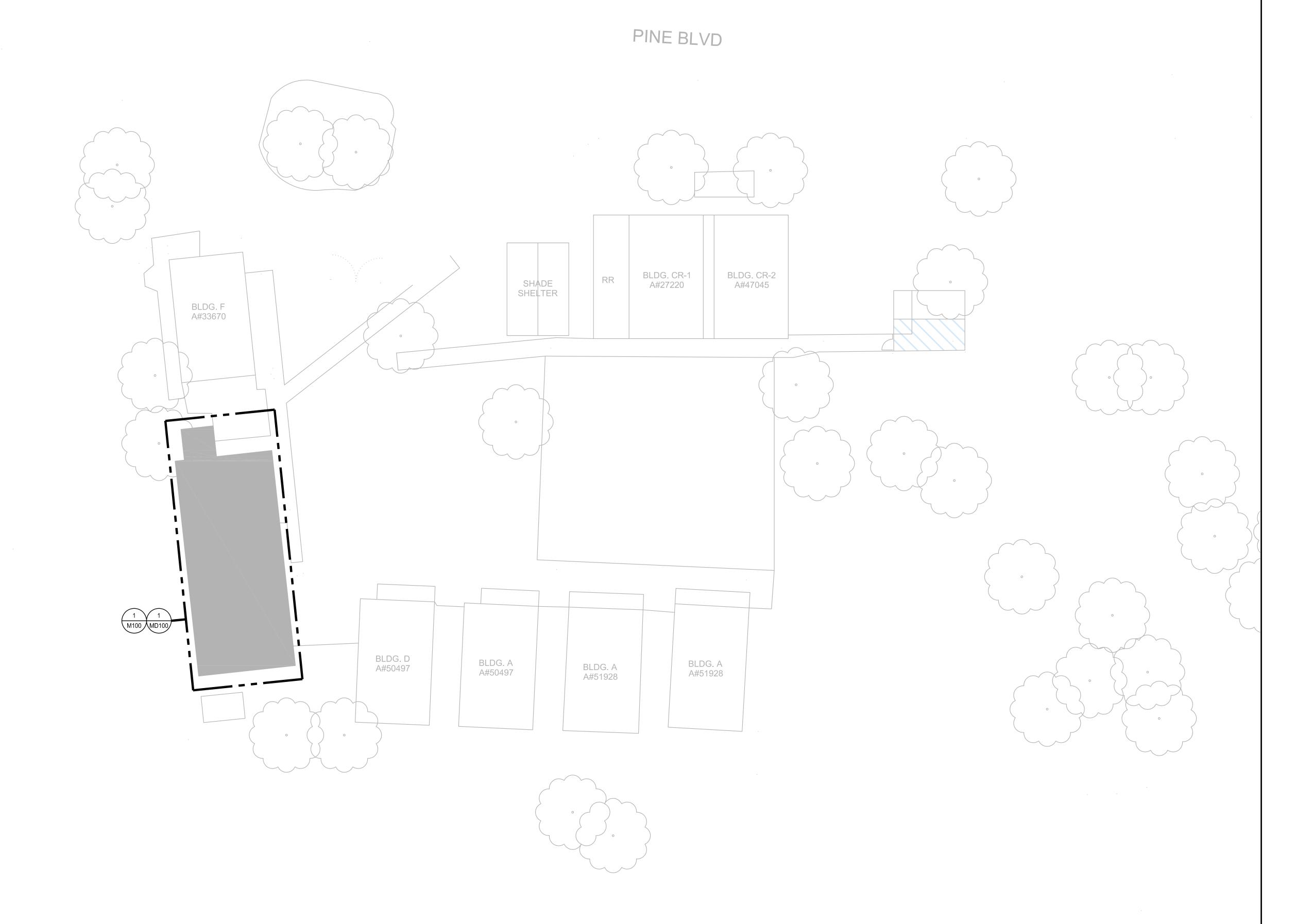
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MECHANICAL NOTES AND LEGEND

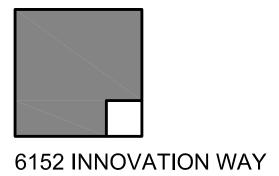
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MECHANICAL OVERALL SITE PLAN

SCALE: 1/16"=1'-0"

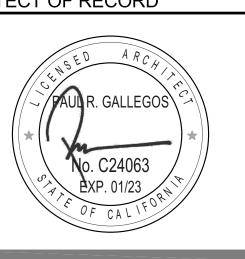


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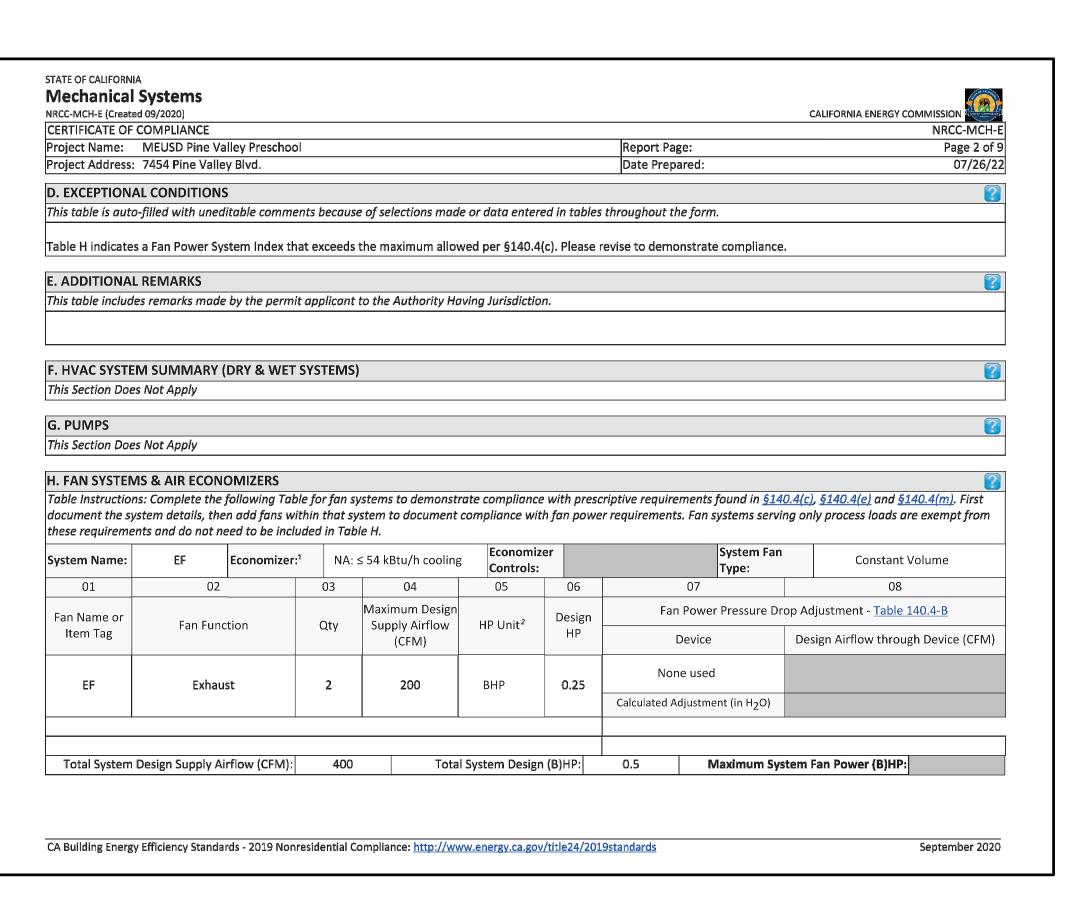
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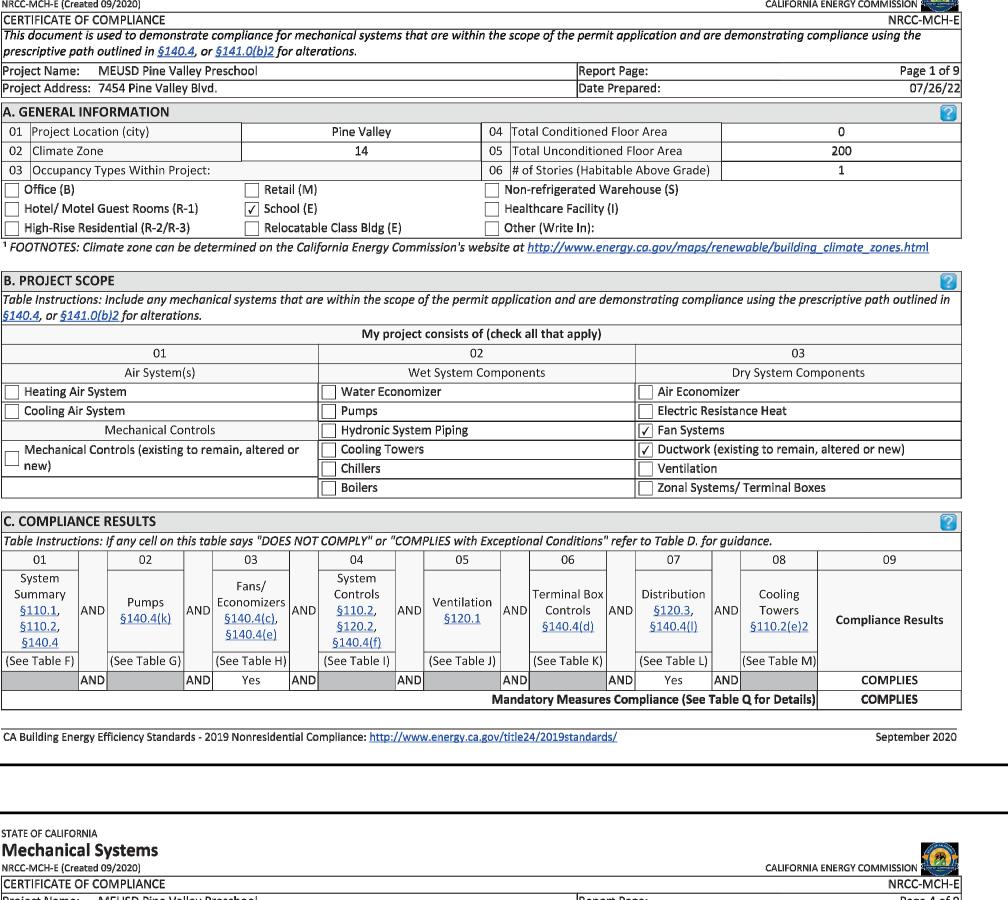
MECHANICAL OVERALL SITE PLAN

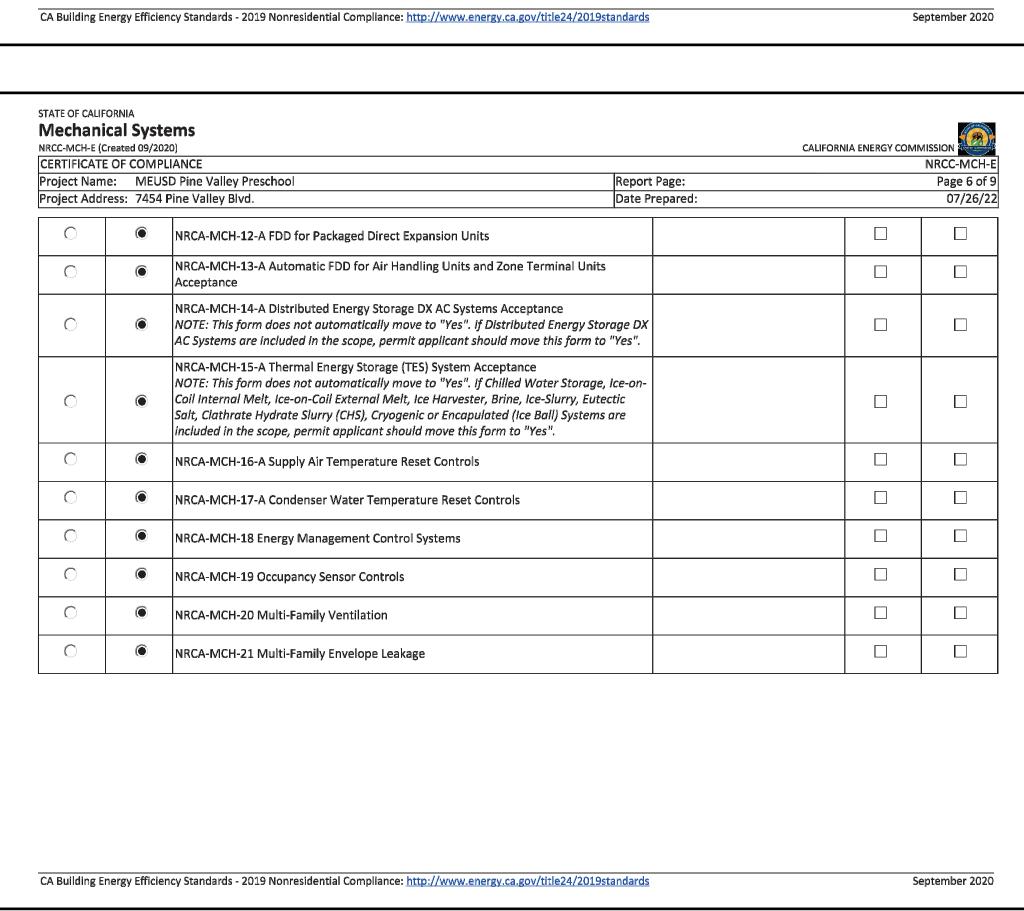
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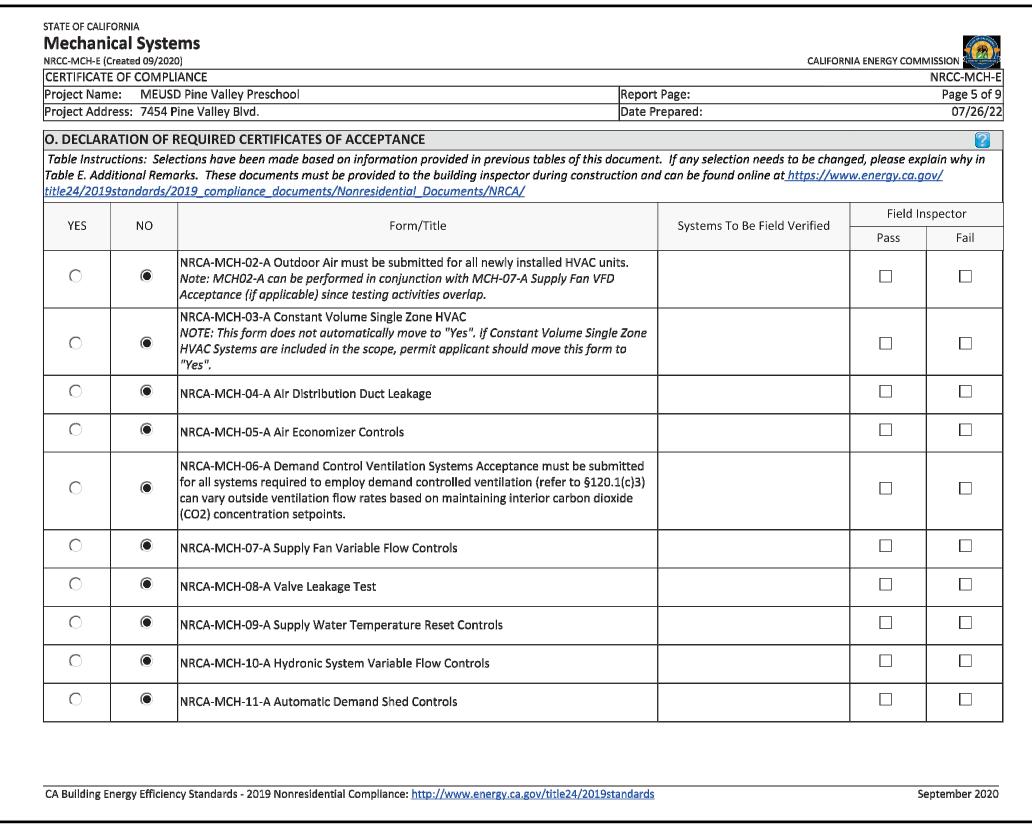
| ¹ FOOTNOTE | ne: ME ress: 745 E: Compu | USD Pine Valley I 54 Pine Valley Blv ter room econom | d. | Report Page: Date Prepared: | NRCC-MCH Page 3 of 07/26/2 |
|--------------|---------------------------------|--|--|---------------------------------------|--|
| Project Addi | ress: 745 E: Compu | 54 Pine Valley Blv ter room econom | d. | | |
| ¹ FOOTNOTE | E: Compu | ter room econom | | Date Prepared: | 07/26/ |
| | | | inous moved month asserting months of \$140.0(a) and will | | , , |
| | _ | P must be consist | ent for all fans within a system. | ll be documented on the NRCC-PRC-E | document. |
| I. SYSTEM | CONTRO | DLS | | | |
| This Section | Does No | t Apply | | | |
| J. VENTILA | TION AN | ND INDOOR AIR | QUALITY | | |
| This Section | | | 20 | | |
| | | | | | |
| | | CONTROLS | | | |
| This Section | Does No | t Apply | | | |
| I DISTRIRI | LITION (I | DUCTWORK AN | D BIBING) | | |
| | • | | wing tables to show compliance with mandatory p | ine inculation requirements found in | |
| | | kage testing. | wing tubles to show compliance with manuatory p | ipe insulation requirements jound in | <u>9120.5</u> una prescriptive requirements jouna in |
| Duct Leakag | | | | | |
| | | uestions below | | Duct leakage testing triggered for | |
| | | g duct system(s): | | these systems? | No |
| 11 | No | The scope of th | ne project includes only duct systems serving healt | thcare facilites. | |
| 12 | No | Duct system pr | rovides conditioned air to an occupiable space for | a constant volume, single zone, spac | e-conditioning system. |
| 13 | No | The space cond | ditioning system serves less than 5,000 ft ² of condi | itioned floor area. | |
| 14 | Yes | The combined | surface area of the ducts in the following location: | s is more than 25% of the total surfa | ce area of the entire duct system: |
| <u> </u> | | | Outdoors | | |
| | | | In a space directly under a roof that has a U-fac | | |
| | | | requirements of §140.3(a)1B or if the roof has | fixed vents or openings to the outsi | de/ unconditioned spaces |
| | | <u> </u> | In an unconditioned crawlspace | | |
| | | / | In other unconditioned spaces | | |
| | | IThe scope of the | ne project includes extending an existing duct syste | | |
| 15 | No | | | | |
| 15 16 | No No | The scope of th | ne project includes an existing duct system that is a ing in accordance with procedures in the Reference | · | y sealed as confirmed through field verification and |



| |) | | | | | | | | | | | | ENERGY COMMISSION |
|---|--|--|----------|---|--|---|----------------|---|---------|--|--|---|---|
| CERTIFICATE OF COMPLIA | | | | | | | | | | | | | NRCC-MC |
| This document is used to operation of the prescriptive path outlined | | | | - | ns tha | t are within th | ie scoj | pe of the perm | it app | lication and a | re dei | monstrating co | mpliance using the |
| Project Name: MEUSD | | | ii uitei | utions. | | | | Pana | rt Pag | · · · · · · · · · · · · · · · · · · · | | | Page 1 |
| Project Address: 7454 Pir | • | | | | | | | | Prepa | | | | 07/26 |
| | · · | | | | | | | | Пере | 11 84 94 6 | | | 37,23 |
| A. GENERAL INFORMA | | | | Br Will | | | 4 - | al Carallillana | LEL | | _ | | |
| 01 Project Location (city | Σ γ) | | | Pine Valley 04 Total Conditioned 14 05 Total Unconditioned | | | | | | | | 0 | |
| 02 Climate Zone | milita Basilaa | | | 14 | | | | | | | | | 200 |
| 03 Occupancy Types Within Project: Office (B) Retail (I | | | | | | [0 | | f Stories (Habi | | | | | 1 |
| ` ' | /0 4\ | | | | | | - | refrigerated V | | ouse (S) | | | |
| Hotel/ Motel Guest Re | | | ool (E) | l- Cl DI-I- (1 | -1 | | _ | thcare Facility | (1) | | | | |
| High-Rise Residential | | | | le Class Bldg (| | | | er (Write In): | | / | 1 | | -8 |
| ¹ FOOTNOTES: Climate zoi | ne can be de | terminea on th | e canj | ornia Energy | Lomn | ussion's webs | ite at | nttp://www.er | nergy. | ca.gov/maps/ | renev | vabie/builaing_ | <u>ciimate_zones.ntml</u> |
| B. PROJECT SCOPE | | | | | | | | | | | | | |
| Table Instructions: Include | a anu macha | nical customs + | hat ar | a within the c | nna n | f the normit o | nnlica | ition and are d | omon | ctratina come | diance | using the prof | crintive nath outlined |
| §140.4, or §141.0(b)2 for | • | mcui systems ti | iul uic | e wiliiii liie Sl | .upe u | y the permit u | ppnca | ition unu ure u | emon | struting comp | munice | e using the pies | сприче рат очитей: |
| <u></u> | | | | My pr | oiect | consists of (c | heck a | Ill that annly) | | | | | |
| | | | | | | | | | | | | | |
| | 01 | | | 7 1 | | 02 | | in that apply, | | | | 03 | |
| Air | 01 System(s) | | | | | 02 | | | | | D | | ponents |
| | 01 System(s) | | | | We | 02 et System Con | | | | ☐ Air Fcono | | 03 ry System Com | ponents |
| Heating Air System | | | | ☐ Water Eco | We | 02 et System Con | | | | Air Econo | mizer | ry System Com | ponents |
| Heating Air System Cooling Air System | System(s) | als | | Water Eco | We | 02 et System Con izer | | | | Electric Re | mizer esista | ry System Com | ponents |
| Heating Air System Cooling Air System Mecha | System(s) | | or | Water Eco Pumps Hydronic | We onomi Systei | 02 et System Con izer m Piping | | | | Electric Re Fan Syste | mizer esista ms | ry System Com | |
| Heating Air System Cooling Air System Mecha Mechanical Controls (| System(s) | | or | Water Eco Pumps Hydronic Cooling Te | We onomi Systei | 02 et System Con izer m Piping | | | | Electric Re Fan Syste Ductwork | mizer esista ms : (exist | ry System Com | ponents altered or new) |
| Heating Air System Cooling Air System Mecha | System(s) | | or | Water Eco Pumps Hydronic Cooling To | We onomi Systei | 02 et System Con izer m Piping | | | | Electric Re Fan Syste Ductwork Ventilatio | mizer esista ms : (exist | ry System Com | altered or new) |
| Heating Air System Cooling Air System Mecha Mechanical Controls (| System(s) | | or | Water Eco Pumps Hydronic Cooling Te | We onomi Systei | 02 et System Con izer m Piping | | | | Electric Re Fan Syste Ductwork Ventilatio | mizer esista ms : (exist | ry System Com | altered or new) |
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| Heating Air System Cooling Air System Mecha Mechanical Controls (new) | enical Contro (existing to | emain, altered | | Water Eco Pumps Hydronic Cooling Te Chillers Boilers | We onomi System | 02 et System Con izer m Piping | npone | nts | ' refer | Electric Re Fan Syste Ductwork Ventilatio Zonal Syst | mizer esista ms (exist on tems/ | ry System Com nce Heat ting to remain, Terminal Boxe | altered or new) |
| Heating Air System Cooling Air System Mecha Mechanical Controls (new) C. COMPLIANCE RESUL Table Instructions: If any of | enical Contro (existing to | emain, altered | | Water Eco Pumps Hydronic Cooling Te Chillers Boilers | We onomi System | 02 et System Con izer m Piping | npone | nts | ' refer | Electric Re Fan Syste Ductwork Ventilatio Zonal Syst | mizer esista ms (exist on tems/ | ry System Com nce Heat ting to remain, Terminal Boxe | altered or new) |
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| Heating Air System Cooling Air System Mecha Mechanical Controls (new) C. COMPLIANCE RESUL Table Instructions: If any of the system System Summary §110.1, AND Pu 814 | enical Control (existing to r LTS cell on this t 02 | able says "DOE. 03 Fans/ Economizers | s not | Water Eco Pumps Hydronic Cooling Te Chillers Boilers COMPLY" or ' 04 System Controls §110.2, | We onomi System | 02 et System Con izer m Piping PLIES with Exc 05 Ventilation | npone | nts nal Conditions' 06 Terminal Box Controls | | Electric Re Fan Syste Ductwork Ventilatio Zonal Syst to Table D. fo 07 Distribution §120.3, | mizer esista ms (exist on tems/ | ry System Com nce Heat ting to remain, Terminal Boxe dance. 08 Cooling Towers | altered or new) s |
| Heating Air System Cooling Air System Mecha Mechanical Controls (new) C. COMPLIANCE RESUL Table Instructions: If any of the system System Summary §110.1, §110.2, AND Pu §14 | enical Contro (existing to r | able says "DOE: | s not | Water Eco Pumps Hydronic Cooling To Chillers Boilers COMPLY" or ' 04 System Controls §110.2, §120.2, | Webnomi System owers | 02 et System Conizer m Piping PLIES with Exc. 05 | reption | nts nal Conditions' 06 Terminal Box | | Electric Re Fan Syste Ductwork Ventilatio Zonal Syste to Table D. fo | mizer esista ms (exist on tems/ | ry System Com nce Heat ting to remain, Terminal Boxe dance. 08 Cooling | altered or new) |
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| Heating Air System Cooling Air System Mechanical Controls (new) C. COMPLIANCE RESUL Table Instructions: If any of the system Summary \$110.1, \$110.2, \$140.4 (See Table F) (See T | enical Contro (existing to r LTS cell on this t 02 umps 10.4(k) AN | able says "DOEs 03 Fans/ Economizers §140.4(c), §140.4(e) (See Table H) | S NOT | Water Eco Pumps Hydronic Cooling Te Chillers Boilers COMPLY" or ' 04 System Controls §110.2, §120.2, §140.4(f) (See Table I) | Webnomi System S | 02 et System Confizer m Piping PLIES with Exc 05 Ventilation §120.1 (See Table J) | seption AND | nts nal Conditions' 06 Terminal Box Controls §140.4(d) (See Table K) | AND | Electric Re Fan Syste Ductwork Ventilatio Zonal Syste to Table D. for 07 Distribution §120.3, §140.4(I) (See Table L) | mizer esista ms (exist n tems/ | ry System Com nce Heat ting to remain, Terminal Boxe 08 Cooling Towers §110.2(e)2 (See Table M) | altered or new) s 09 Compliance Results |
| Heating Air System Cooling Air System Mecha Mechanical Controls (new) C. COMPLIANCE RESUL Table Instructions: If any of the system Summary §110.1, §110.2, §140.4 | enical Control (existing to r LTS cell on this t 02 Imps 10.4(k) AN | able says "DOEs 03 Fans/ Economizers §140.4(c), §140.4(e) (See Table H) | S NOT | Water Eco Pumps Hydronic Cooling Te Chillers Boilers COMPLY" or ' 04 System Controls §110.2, §120.2, §140.4(f) (See Table I) | Webnomi System owers | 02 et System Confizer m Piping PLIES with Exc 05 Ventilation §120.1 (See Table J) | ception AND | nts nal Conditions' 06 Terminal Box Controls §140.4(d) (See Table K) | AND | Electric Re Fan Syste Ductwork Ventilatio Zonal Syste To Table D. for 07 Distribution §120.3, §140.4(I) (See Table L) Yes | mizer esistal ms (exist on tems/ AND | ry System Com nce Heat ting to remain, Terminal Boxe dance. 08 Cooling Towers §110.2(e)2 (See Table M) | altered or new) s |







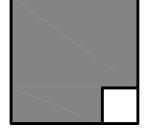
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| | E OF COMP | | | | 1 | IRCC-MCI |
| | | D Pine Valley Preschool | Report Page: | | | Page 4 o |
| Project Add | ress: 7454 | Pine Valley Blvd. | Date Prepared: | | | 07/26/ |
| M. COOLII | NG TOWER | S | | | | |
| This Section | n Does Not A | pply | | | | |
| N. DEGLAS | 1. T.O.V. O.E. | DECLUDED CERTIFICATES OF INSTALLATION | | | | 6 |
| | | REQUIRED CERTIFICATES OF INSTALLATION | | | | ? |
| | | tions have been made based on information provided in previous ta arks. These documents must be provided to the building inspector d | | | | |
| | | uns. These documents must be provided to the balluing hispettor of 2019 compliance documents/Nonresidential Documents/NRCI/ | uring construction and can be jound online at <u>inte</u> | 3.// WWW.EIIEI GY | r.ca.gov | |
| - | | | | | ield Insp | ector |
| YES | NO | Form/Title | Systems To Be Field Ver | ified Pas | | Fail |
| | | | | | | |
| • | | NRCI-MCH-01-E - Must be submitted for all buildings. | | | | |
| | | | | | | |
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| CERTIFICATE OF COMPLIANCE | | | NRCC-MC |
|--|--|--|--|
| - | Valley Preschool | Report Page: | Page 9 o |
| Project Address: 7454 Pine Vall | · | Date Prepared: | 07/26/ |
| | 'S DECLARATION STATEMENT | | |
| 1. I certify that this Certificate o | f Compliance documentation is accurate and c | 11/ | |
| Documentation Author Name: | Erich Gemballa | Documentation Author Signature: | |
| Company: | DEC Engineers | Signature Date: 07/26/22 | |
| Address: | 10150 Meanley Dr Ste 250 | CEA/ HERS Certification Identification (if applicable): | |
| City/State/Zip: | San Diego, CA, 92131 | Phone: 858-578-3270 | |
| I am eligible under Division 3 Compliance (responsible des The energy features and per Certificate of Compliance co The building design features compliance documents, wor I will ensure that a complete to the enforcement agency f | signer) formance specifications, materials, componer nform to the requirements of Title 24, Part 1 a or system design features identified on this C ksheets, calculations, plans and specifications ad signed copy of this Certificate of Complianc | rect. pt responsibility for the building design or system design identified ts, and manufactured devices for the building design or system design of the California Code of Regulations. ertificate of Compliance are consistent with the information proving submitted to the enforcement agency for approval with this building the shall be made available with the building permit(s) issued for the completed signed copy of this Certificate of Compliance is required. | esign identified on this ided on other applicable ding permit application. e building, and made availab |
| I am eligible under Division 3 Compliance (responsible des The energy features and per Certificate of Compliance co The building design features compliance documents, wor I will ensure that a complete to the enforcement agency f documentation the builder p Responsible Designer Name: | of the Business and Professions Code to accessigner) formance specifications, materials, componer of the requirements of Title 24, Part 1 at or system design features identified on this Cksheets, calculations, plans and specifications and signed copy of this Certificate of Compliance for all applicable inspections. I understand that provides to the building owner at occupancy. Nicholas Clements | pt responsibility for the building design or system design identifiests, and manufactured devices for the building design or system design Part 6 of the California Code of Regulations. The extificate of Compliance are consistent with the information proving submitted to the enforcement agency for approval with this builder shall be made available with the building permit(s) issued for the completed signed copy of this Certificate of Compliance is required. The exponsible Designer Signature: | esign identified on this ided on other applicable ding permit application. e building, and made availal |
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| Mechanical Systems | | CALLE | CORNIA ENERCY CONANAISCION | | | |
|---|--------------------------------|----------------------------------|------------------------------------|--|--|--|
| RCC-MCH-E (Created 09/2020) ERTIFICATE OF COMPLIANCE | | CALIF | ORNIA ENERGY COMMISSION NRCC-MCH-E | | | |
| roject Name: MEUSD Pine Valley Preschool | | Report Page: | Page 8 of 9 | | | |
| roject Address: 7454 Pine Valley Blvd. | | Date Prepared: | 07/26/22 | | | |
| | | | | | | |
| Q. MANDATORY MEASURES DOCUMENTATION LOCATION Table Instructions: Indicate where mandatory measures are docur the plan sheet or construction document location as "N/A", any ac- | nented in the plan set or cons | | ures that do not apply, mark | | | |
| | | 02 | | | | |
| 01 | | Plan sheet or construction docum | ent location | | | |
| Compliance with Mandatory Measures documented through MCH Mandatory Measures Note Block: | Yes | MT100 | | | | |
| | | | | | | |
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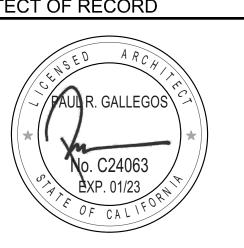
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| | EUSD Pine Valley Preschool | Report Page: | | Pag |
| | 154 Pine Valley Blvd. | Date Prepared: | | 0 |
| D DECLADATION | OF REQUIRED CERTIFICATES OF VERIFICATION | <u>'</u> | | |
| Table E. Additional | Remarks. These documents must be completed by a HERS R Providers registry, but drafts can be found online at <u>https://</u> | n previous tables of this document. If any selection needs to ater and provided to the building inspector during construct www.energy.ca.gov/title24/2019standards/2019_compliant | ion. The final documents | |
| YES | NO | Form/Title | Field In | specto |
| 163 | | romy nue | Pass | F |
| 0 | NRCV-MCH-04-H Duct Leakage Test NOTE: Must be completed by a HERS Rater | | | |
| 0 | NRCV-MCH-24 Enclosure Air Leakage Worksheet NOTE: Must be completed by a HERS Rater | | | |
| 0 | NRCV-MCH-27 High-rise Residential NOTE: Must be completed by a HERS Rater | | | |
| 0 | NRCV-MCH-32 Local Mechanical Exhaust NOTE: Must be completed by a HERS Rater | | | |
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ALPHASTUDIO DESIGN GROUP

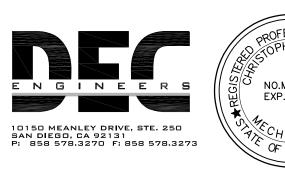


6152 INNOVATION WAY CARLSBAD, 92009 760-431-2444 www.alphastudio-design.com

ARCHITECT OF RECORD



ENGINEER OF RECORD





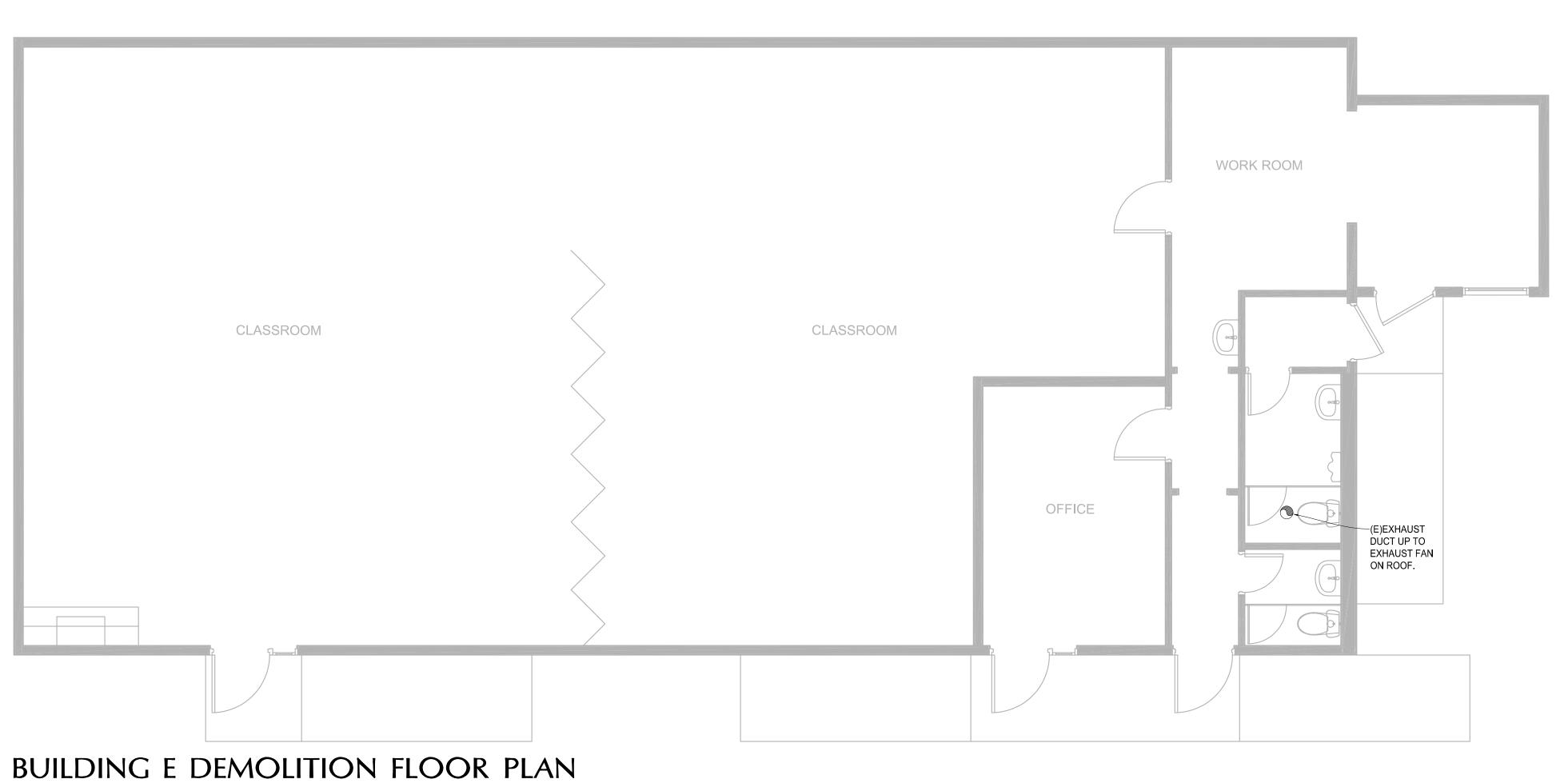
NEW PRESCHOOL PINE VALLEY MIDDLE SCHOOL

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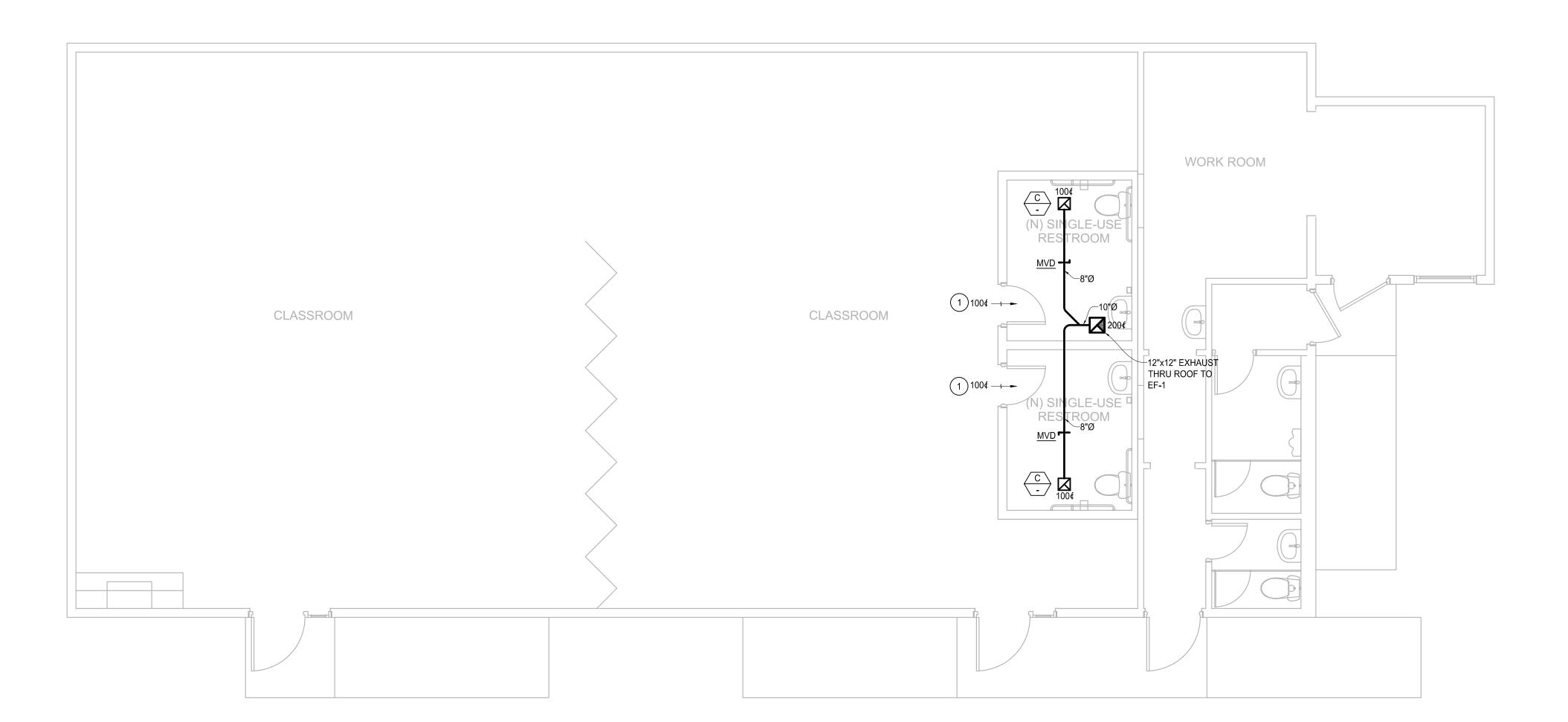
PLOT DATE: 6/15/2022

SHEET TITLE

MECHANICAL TITLE 24



SCALE: 1/4"=1'-0"



BUILDING E NEW WORK FLOOR PLAN

SCALE: 1/4"=1'-0"

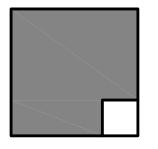
GENERAL NOTES

1. THE DESIGN OF THE PRODUCT WAS BASED UPON THE INFORMATION CONTAINED IN DRAWINGS PROVIDED BY THE ARCHITECT. DISCREPANCIES BETWEEN INDICATED AND ACTUAL FIELD CONDITIONS MAY EXIST. IT IS A REQUIREMENT THAT THE CONTRACTOR SHALL VISIT THE SITE AND WALK THE JOB BEFORE SUBMITTING THEIR BID AND SHALL MAKE ALL ALLOWANCES FOR PLAN/FIELD CONDITION DISCREPANCIES PRIOR TO SUBMITTING FOR BID, DURING THE CONSTRUCTION PROCESS, IF A DISCREPANCY IS FOUND TO EXIST, THE CONTRACTOR SHALL DETERMINE A FIELD SOLUTION TO RESOLVE THE PROBLEM, AND THEN FORWARD THIS INFORMATION TO THE ARCHITECT FOR SUBMITTAL TO THE ENGINEER FOR

KEY NOTES

- 1 PROVIDE UNDERCUT WITH MINIMUM 0.75 FREE AREA.
- 2) PROVIDE EXHAUST FAN AND ROOF CURB PER SCHEDULE.

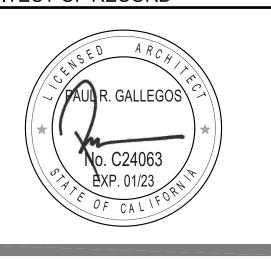
ALPHASTUDIO DESIGN GROUP



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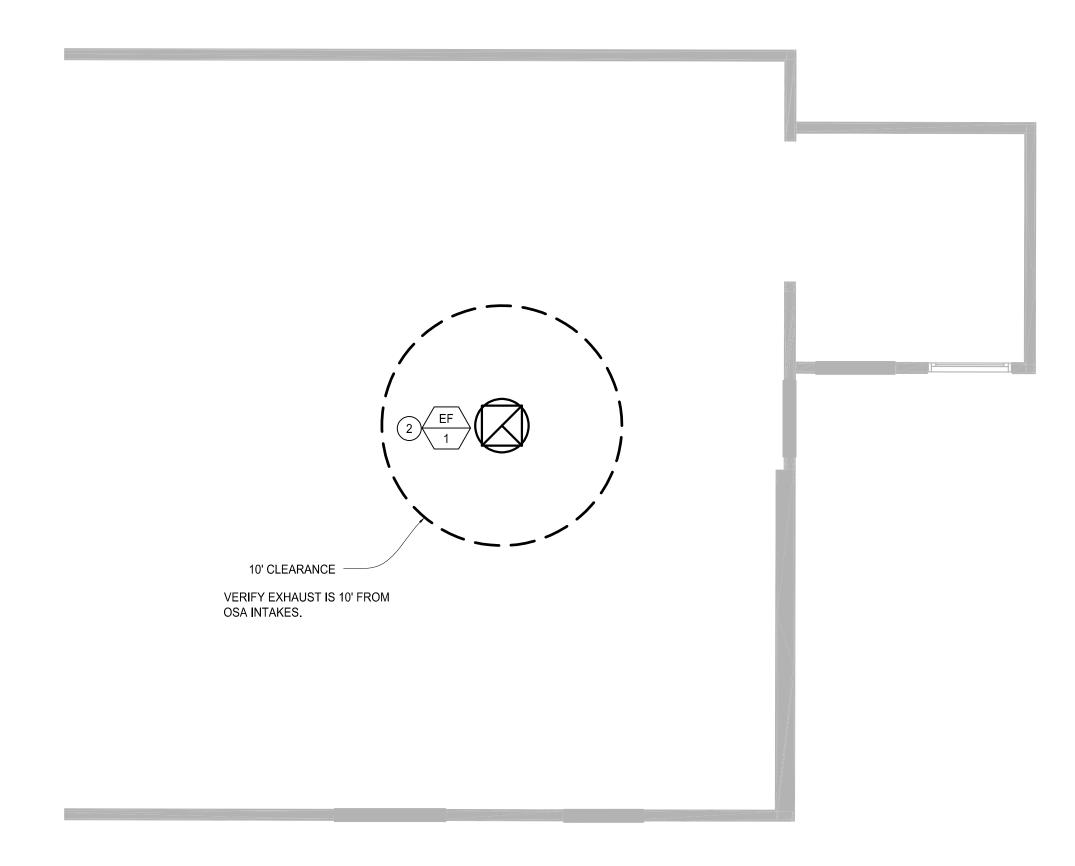
ARCHITECT OF RECORD



ENGINEER OF RECORD







BUILDING E NEW WORK ROOF PLAN

SCALE: 1/4"=1'-0"

PROJECT NO: #Pln MODEL FILE:
22-005_MEUSD Pine Valley MS Preschool.pln

PLOT DATE: 6/15/2022

SHEET TITLE

MECHANICAL FLOOR **PLANS**

M100

ABBREVIATIONS

LIGHTING AMPERE (AMPS) ALTERNATING CURRENT AMPS-FRAME (RATING) AMP INTERRUPTING CURRENT AMMETER AMP SWITCH (FUSED SWITCH RATING) AMPS-TRIP (RATING) AMERICAN WIRE GAUGE BARE COPPER BLDG BUILDING CONDUIT CIRCUIT BREAKER CONDUIT ONLY CURRENT TRANSFORMER COPPER CFOI CONTRACTOR FURNISHED OWNER INSTALLED CFCI CONTRACTOR FURNISHED CONTRACTOR INSTALLED DPDT DOUBLE POLE DOUBLE THROW DPST DOUBLE POLE SINGLE THROW DWG DRAWING EXISTING FIRE ALARM FULL LOAD AMPS FYR FULL YOLTAGE REVERSING FYNR FULL YOLTAGE NON-REVERSING GROUND FAULT INTERRUPTER GRD/GND GROUND HID HIGH INTENSITY DISCHARGE HOA HAND-OFF-AUTOMATIC HORSEPOWER HIGH PRESSURE SODIUM HERTZ KILOWATT LONG CONTINUOUS LOAD LCL LRA LOCKED ROTOR AMPS LTG LIGHTING MCC MOTOR CONTROL CENTER MCM (KCM) THOUSAND CIRCULAR MILS MECH MECHANICAL NORMALLY CLOSED NON-FUSED NORMALLY OPEN/NUMBER OFCI OWNER FURNISHED CONTRACTOR INSTALLED OWNER FURNISHED OWNER INSTALLED POLE PHASE POC POINT OF CONNECTION PRS PYC COATED RIGID STEEL (CONDUIT) POTENTIAL TRANSFORMER PVC POLYVINYL CHLORIDE DUCT SWBD SWITCHBOARD TYPICAL UNDERGROUND UNLESS OTHERWISE NOTED **YOLT** VOLTAMPERES VOLTMETER YERIFY LOCATION WIRE/WATTS WEATHERPROOF (NEMA TYPE 3R) WATERTIGHT EXPLOSION PROOF (RATED FOR AREA HAZARD)

ELECTRICAL SYMBOL LEGEND

MOUNTING HEIGHT OVER OBSTRUCTION

NO SCALE

DUPLEX RECEPTACLE, FLOOR MOUNTED LIGHTING FIXTURE DESIGNATION DUPLEX RECEPTACLE, WALL MOUNTED, +18" A.F.F. (U.O.N.) LIGHTING FIXTURE, CEILING OR WALL MOUNTED AS SHOWN. RECEPTACLE, WALL MOUNTED HORIZONTALLY, +18" A.F.F. (U.O.N.) HORZ. LED LIGHT FIXTURE FOURPLEX RECEPTACLE, WALL MOUNTED, +18" A.F.F. (U.O.N.) LIGHTING FIXTURE ON EMERGENCY CIRCUIT (MINIMUM 90 MIN. BACKUP). # # RECEPTACLE MOUNTED +6" ABOVE COUNTER BACKSPLASH SEE ARCHITECTURAL PLANS FOR REQUIRED MOUNTING HEIGHT PRIOR TO ROUGH-IN. PROVIDE (2) DUPLEX RECEPTACLE CEILING MOUNTED LOCATE ADJACENT TO PROJECTOR. FIELD VERIFY EXACT LOCATION PRIOR TO ROUGH-IN. EXIT SIGN WITH DIRECTION ARROWS AS INDICATED. SHADED QUADRANT INDICATES FACE. SINGLE RECEPTACLE, WALL MOUNTED +18" A.F.F. (U.O.N.) DUPLEX RECEPTACLE WITH TWO USB PORTS, WALL MOUNTED, +18" A.F.F. (U.O.N.) WP/U DUPLEX RECEPTACLE WITH TWO USB PORTS (LEVITON *GUSB2-W OR EQUAL) LED STRIP LIGHT WALL MOUNTED, +18" A.F.F. (U.O.N.) SINGLE POLE SWITCH, SUBSCRIPT WHEN SHOWN INDICATES FIXTURES DUPLEX GROUND FAULT INTERRUPTING RECEPTACLE WITH TWO USB PORTS CONTROLLED +48" A.F.F. (U.O.N.) HEIGHT PER DETAILS #1/E1.Ø. WP/GFI/U (LEVITON *GUSB2-W OR EQUAL) IN WEATHERPROOF ENCLOSURE THREE-WAY SWITCH +48" A.F.F. (U.O.N.) HEIGHT PER DETAILS #1/E1.0 WITH WHILE IN USE COVER, WALL MOUNTED, +18" A.F.F. (U.O.N.) SWITCH CONTROLLED DUPLEX RECEPTACLE +18" U.O.N. FOUR-WAY SWITCH +48" A.F.F. (U.O.N.) HEIGHT PER DETAILS *1/E1.0 SWITCH WITH PILOT LIGHT +48" A.F.F. (U.O.N.) HEIGHT PER DETAILS #1/E1.0 DUPLEX GROUND FAULT INTERRUPTING RECEPTACLE +18" A.F.F. (U.O.N.) DOUBLE POLE SWITCH +48" A.F.F. (U.O.N.) HEIGHT PER DETAILS #1/E1.0 DUPLEX RECEPTACLE IN WEATHERPROOF ENCLOSURE WITH WHILE IN USE COVER +18" A.F.F. (U.O.N.) WEATHER PROOF SWITCH +48" A.F.F. (U.O.N.) HEIGHT PER DETAILS *1/E1.0 DUPLEX RECEPTACLE IN WEATHERPROOF "LOCKING" ENCLOSURE +18" A.F.F. (U.O.N.) KEY OPERATED SWITCH +48" A.F.F. (U.O.N.) HEIGHT PER DETAILS #1/E1.0 (SEE TYPICAL DETAILS E3 SERIES SHEETS AND SPECIFICATIONS FOR REQUIRED TYPE). DUPLEX GROUND FAULT INTERRUPTING RECEPTACLE WITH TWO USB PORTS (LEVITON *GUSB2-W OR EQUAL) MOUNTED +6" ABOVE COUNTER BACKSPLASH. SEE ARCHITECTURAL PLANS FOR REQUIRED MOUNTING HEIGHT PRIOR TO ROUGH-IN. DUPLEX COMPUTER RECEPTACLE (GREY), WALL MOUNTED +18" A.F.F. (U.O.N.) DUPLEX COMPUTER RECEPTACLE (BLUE) ISOLATED GROUND, SURGE SUPPRESSION, WALL MOUNTED +18" A.F.F. (U.O.N.) DISTRIBUTION EQUIPMENT POWER PEDESTAL. SEE FLOOR PLAN FOR DETAILS (J) JUNCTION BOX, CEILING OR WALL MOUNTED >> DRAW OUT TYPE EQUIPMENT HAND DRYER CONNECTION, SEE ARCHITECTURAL FOR MOUTNING HEIGHT. VACUUM CIRCUIT BREAKER, RATING AS NOTED. FUSED DISCONNECT SWITCH, WHERE SHOWN NF = NON-FUSED. AIR INTERRUPTER SWITCH AND FUSE MANUAL MOTOR STARTER +48" A.F.F. OR ON EQUIPMENT (U.O.N.) - AIR INTERRUPTER MOTOR CONNECTION, NUMERAL INDICATES HORSEPOWER. MECHANICAL EQUIPMENT TAG (SEE MECHANICAL DRAWINGS FOR DESCRIPTION) FUSE POWER TRANSFORMER, RATING AS NOTED CONDUIT AND WIRE, CONCEALED IN CEILING OR WALL CONDUIT AND WIRE, CONCEALED IN OR UNDER FINISHED FLOOR POWER CIRCUIT BREAKER DRAWOUT OR UNDER FINISHED GRADE. AUTOMATIC TRANSFER SWITCH. SEE SCHEDULE FLEXIBLE CONDUIT CONNECTION BRANCH CIRCUIT HOMERUN TO PANEL. SLASHES INDICATE NUMBER OF AMMETER CONDUCTORS. EQUIPMENT GROUND WIRE NOT INDICATED U.O.N. #12 CONDUCTORS ARE MINIMUM, NO HASH MARKS = MIN (2) #12 VOLTMETER 3/4" CONDUIT STUBBED FROM DEVICE TO ABOVE ACCESSIBLE CIRCUIT BREAKER 200AMP FRAME BRANCH CIRCUIT HOMERUN, NUMBER INDICATES INCREASED 200AMP TRIP CONDUCTOR SIZE, CONDUCTORS SHALL REMAIN AS INDICATED 3 POLE FOR SIZE THROUGHOUT THE ENTIRE CIRCUIT. 10,000 AMPS INTERRUPTING CURRENT 10,000AIC PANELBOARD, SURFACE MOUNTED. PANELBOARD, RECESSED 200AMP SWITCH 200AMP FUSE STEP-DOWN TRANSFORMER 3 POLE DISTRIBUTION SWITCHBOARD UTILITY COMPANY METER SINGLE SECTION SERIES, NON METALLIC (WHITE) TWO SECTION SERIES, NON METALLIC (WHITE) THREE SECTION SERIES, NON METALLIC (WHITE) -BOTTOM OF CONTROL/ OUTLET/ TOP OF CONTROL/ SWITCH BOX CONTROL/ ZIH OUTLET/ OUTLET/ Mich BOX SWITCH BOX #15" +18" MIN. FINISHED FINISHED FLOOR / FLOOR PERPENDICULAR APPROACH SIDE APPROACH NOTE: MAINTAIN MINIMUM 30"X48" CLEAR FLOOR SPACE AT EACH APPROACH.

E1.0

POWER CONTINUED

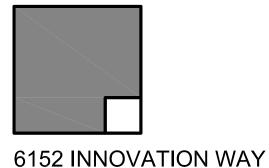
GENERAL PROJECT NOTES

- 1. UNLESS WHERE OTHERWISE NOTED, ALL WORK INDICATED ON THESE DRAWINGS SHALL BE CONSIDERED NEW WORK.
- 2. UNLESS WHERE OTHERWISE NOTED, ALL DIMENSIONS ARE TO BE CENTERLINE OF THE DEVICE.
- 3. "GENERAL NOTES" SHOWN ON AN INDIVIDUAL DRAWING APPLY TO ALL WORK SHOWN ON THAT SHEET. "KEY NOTES" ONLY APPLY TO SPECIFIC ITEMS WHERE ANNOTATED AT SPECIFIC LOCATIONS. SOME KEY NOTES MAY NOT APPLY TO ANY SPECIFIC ITEMS.
- 4. UNLESS SPECIFICALLY SHOWN ON THESE PLANS, NO STRUCTURAL MEMBER SHALL BE CUT, NEITHER DRILLED NOR NOTCHED WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE STRUCTURAL ENGINEER AND THE DIVISION OF THE STATE ARCHITECT.

GENERAL DEMOLITION NOTES.

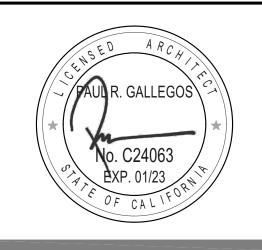
- 1. ALL ELECTRICAL EQUIPMENT, EXPOSED RACEWAY AND CONDUIT, OUTLET BOXES AND RINGS, AND DEVICES ARE TO BE REMOVED, EXCEPT WHERE SHOWN TO REMAIN. EXISTING WIRING, WHETHER EXPOSED, IN CONDUIT OR RACEWAY IS TO BE REMOVED TO THE GREATEST EXTENT POSSIBLE.
- 2. THE ELECTRICAL CONTRACTOR IS TO DIRECT THE REMOVAL OF THE ABOVE LISTED WORK.

ALPHASTUDIO DESIGN GROUP



CARLSBAD, 92009 760-431-2444 www.alphastudio-design.com

ARCHITECT OF RECORD



ENGINEER OF RECORD

REVISIONS ESCRIPTION

PROJECT NO: #PIn

MODEL FILE:

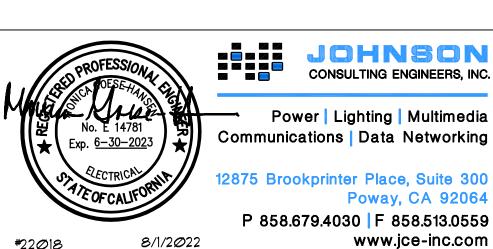
22-005_MEUSD Pine Valley MS Preschool.pln

PLOT DATE:

6/15/2022 SHEET TITLE

ELECTRICAL LEGEND AND NOTES

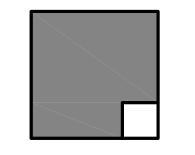
E-1.0



OVERALL SITE PLAN

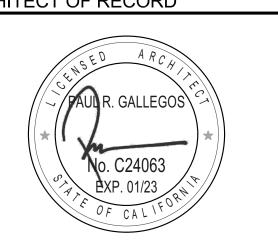
SCALE: 1"=10"

ALPHASTUDIO DESIGN GROUP



6152 INNOVATION WAY CARLSBAD, 92009 760-431-2444 www.alphastudio-design.com

ARCHITECT OF RECORD



ENGINEER OF RECORD

REVISIONS
MARK DATE

PROJECT NO: #PIn

MODEL FILE:
22-005_MEUSD Pine Valley MS Preschool.pln

PLOT DATE: 6/15/2022 SHEET TITLE

12875 Brookprinter Place, Suite 300 Poway, CA 92064 P 858.679.4030 | F 858.513.0559 www.jce-inc.com

*****22Ø18

OVERALL SITE PLAN

E-1.1

NORTH

| Project Address: 74 | ed to demons | trate compliance | with rocking | | | | | | | | | | NRCC-L |
|--|------------------------|--------------------|-------------------|-------------------------|---|---------------------|--------------|--------------------------|-------------------------|-----|--------------------------|--------|---------------|
| prescriptive path. Project Name: NE Project Address: 74 | | trate compliance | s swith rocking | | | | _ | | | | | | |
| Project Name: NE Project Address: 74 | IN DDECOUSOR | | : with requiremei | nts in <u>§110.9,</u> § | 110 | 0.12(c), §130.0, | §1. | <u>30.1, §140.6,</u> and | l <u>§141.0(b)2</u> for | inc | door lighting scop | es usi | ng the |
| , | W PRESCHOO | OL - PINE VALLEY | MIDDLE SCHOO | L | | Re | po | rt Page: | | | | | Page 1 |
| | 54 PINE BLVD | , PINE VALLEY, \ | /A 91962 | | | Da | ate | Prepared: | | | | | 8/1 |
| A. GENERAL INFOR | RMATION | | | | | | | | | | | | |
| 01 Project Location | | | PINE | /ALLEY | | 04 Total | Col | nditioned Floor A | rea (ft²) | | | | |
| 02 Climate Zone | ()) | | | 4 | 05 Total Unconditioned Floor Area (ft²) | | | | | 126 | | | |
| 03 Occupancy Types Within Project (select all that apply): | | | | | | | _ | ies (Habitable Ab | | | | | |
| 1 | | | | Warehouse | | Hote | | | School | | Supp | ort Ar | eas |
| Parking Garag | | | | Relocatable | | Heal | thc | are 🗌 | Other (write i | n): | | | |
| D DDOLECT CCCCC | | - | | | | | | | | | | | |
| B. PROJECT SCOPE | | 1.0 | | 6.1 | | | | | | _ | | | -0. 1. |
| Table Instructions: In | | | | | | | | | | | | | |
| <u>§140.6</u> or <u>§141.0(b)2</u> calculation method, | | | | culation Weth | iu li | n this table will i | 450 | uit in the deletion | i oj aata previo | uSI | у трис. 15 уой пе | eu to | cnange the |
| carcalation metriou, | | e of Work | c Jave As . | | | Conditioned | l Sn | aces | | | Unconditioned | Span | es |
| | 550pc | 01 | | | | 02 | . - P | 03 | | | 04 | Эрис | 05 |
| Mv Pro | iect Consists | of (check all that | t apply): | Ca | alcu | lation Method | | Area (ft ² |) Ca | lcu | lation Method | | Area (ft² |
| ✓ New Lighting Sy | _ | - Jenean un anu | | | | ea Category | | 126 | , | | | | Alea (It |
| | | | | | - 11 | | | 123 | | | | | |
| Altered Lighting | g System | | | | | | | | | | | | |
| | | | | | | | | | | | | | |
| | | To | tal Area of Work | (ft ²) | | 126 | | | | | | | |
| | | | | -1 | | | | | <u> </u> | | | | |
| C. COMPLIANCE R | | | | | | | | | | | | | |
| Table Instructions: If | any cell on th | | | | | with Exceptional | Co | | , , | | | | |
| Mahaina in | | | ing Power per 🧕 | | s) | | | | ing Power per | 14 | | Con | npliance Res |
| Lighting in conditioned and | 01 | 02 | 03 | 04 | | 05 | | 06 | 07 | | 08 | | 09 |
| unconditioned | | | Area Category | | | | | | Adjustments | | | | |
| spaces must not | Complete | Area Category | Additional | Tailored | | | ≥ | Total | PAF Control | | Total Adjusted | _ | |
| be combined for | Building §140.6(c)1 | §140.6(c)2 | §140.6(c)2G | §140.6(c)3 (+) | = | Total Allowed | | Designed (Watts) | Credits | = | (Watts) | 0 | 5 Must be ≥ 0 |
| compliance per | 3140.0(c)1 | | (+) | (+) | | (Watts) | | (watts) | §140.6(a)2 (-) | | *Includes Adjustments | | §140.6 |
| §140.6(b)1. | See Table I) | (See Table I) | (See Table J) | (See Table K) | 1 | | | (See Table F) | (See Table P) | | Adjustillents | | |
| Conditioned: | occ rable ly | 81.9 | (occ rubic) | (See Tuble K) | - | 81.9 | ≥ | 78 | (See Tuble F) | = | 78 | | COMPLIES |
| Unconditioned: | | | | | E | | _ | | | = | | | |
| Unconditioned: - | | | | | | | 1 - | | | 1 | | | |

CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance: http://www.energy.ca.gov/title24/2019standards

| A Building | nergy Efficier | ncy Standards - 2019 Nonresidential Compliance: http://www.energy.ca.gov/title24/2019standards | | October 2020 | CA Building Energy Efficie | ncy Standards - 2019 Nonresidential Compliance: http://w | ww.energy.ca.gov/tit |
|--|--|---|--------------|---|--------------------------------------|--|----------------------|
| ECC-LTI-E (Co ERTIFICAT Toject Nar Toject Ado | ighting eated 10/20) E OF COMPL ne: NEW ress: 7454 actions: Select | LIANCE PRESCHOOL - PINE VALLEY MIDDLE SCHOOL PINE BLVD, PINE VALLEY, VA 91962 Prepared: Ctions have been made based on information provided in previous tables of this document. If any selection needs to be changed, p | | NRCC-LTI-E Page 5 of 6 8/1/22 n why in | Project Address: 7454 | LIANCE PRESCHOOL - PINE VALLEY MIDDLE SCHOOL PINE BLVD, PINE VALLEY, VA 91962 UTHOR'S DECLARATION STATEMENT | |
| | | narks. These documents must be provided to the building inspector during construction and can be found online at https://ww2.er /2019 compliance documents/Nonresidential Documents/NRCI/ | nergy.ca.gov | _ | I certify that this Certifi | cate of Compliance documentation is accurate and c | omplete |
| YES | NO | Form/Title | Field I | nspector | Documentation Author Company: | Name: MONICA HANSEN JOHNSON CONSULTING ENGINEERS | Docur Signat |
| | | | Pass | Fail | Address: | 12875 BROOKPRINTER PL, SUITE 300 | CEA/ |
| | 0 | NRCI-LTI-01-E - Must be submitted for all buildings | | | City/State/Zip: | POWAY, CA 92064 | Phone |
| • | 0 | NRCI-LTI-02-E - Must be submitted for a lighting control system, or for an Energy Management Control System (EMCS), to be recognized for compliance. | | | RESPONSIBLE PERSON | S DECLARATION STATEMENT under penalty of perjury, under the laws of the State | |
| 0 | • | NRCI-LTI-04-E - Must be submitted for two interlocked systems serving an auditorium, a convention center, a conference room, a multipurpose room, or a theater to be recognized for compliance. | | | 1. The information pro | vided on this Certificate of Compliance is true and o | orrect. |
| 0 | • | NRCI-LTI-05-E - Must be submitted for a Power Adjustment Factor (PAF) to be recognized for compliance. | | | Compliance (respon | | cept responsibility |
| 0 | • | NRCI-LTI-06-E - Must be submitted for additional wattage installed in a video conferencing studio to be recognized for compliance. | | | Certificate of Compl | and performance specifications, materials, compor iance confom to the requirements of Title 24, Part features or system design features identified on thi | 1 and Part 6 of the |
| . DECLAF | ATION OF | REQUIRED CERTIFICATES OF ACCEPTANCE | | 7 | | nts, worksheets, calculations, plans and specification | |
| ible Instru ible E. Ad | ictions: Selec | ctions have been made based on information provided in previous tables of this document. If any selection needs to be changed, parks. These documents must be provided to the building inspector during construction and any with "-A" in the form name must be iclan Certification Provider (ATTCP). For more information visit: http://www.energy.ca.gov/title24/attcp/providers.html | | | to the enforcement documentation the | ompleted signed copy of this Certificate of Complia agency for all applicable inspections. I understand t builder provides to the building owner at occupanc | hat a completed si |
| | | | Field I | rspector | Responsible Designer N | | Respo |
| YES | NO | Form/Title | Pass | Fail | Company : | JOHNSON CONSULTING ENGINEERS | Date |
| • | 0 | NRCA-LTI-02-A - Must be submitted for occupancy sensors and automatic time switch controls. | | | Address: | 12875 BROOKPRINTER PL, SUITE 300 | Licen: |
| 0 | (6) | NRCA-LTI-03-A - Must be submitted for automatic daylight controls. | | | City/State/Zip: | POWAY, CA 92064 | Phone |
| 0 | • | NRCA-LTI-04-A - Must be submitted for demand responsive lighting controls. | | | | | |
| 0 | • | NRCA-LTI-05-A - Must be submitted for institutional tuning power adjustment factor (PAF). | | | | | |
| 0 | | NRCA-ENV-03-F - Must be submitted for daylighting design power adjustment factors (PAF). | | | 1 | | |

| | door Lighting Controls F | | | | | | | | |
|--|--|--|--|--|--|---|--|---|---|
| R | ESTROOM: ONE FIXTUR | RE, NO GLAZIN | IG. | | | | | | |
| Selections | made in Table T have b | een changed | by the permit a | pplicant. See Tab | le E. Addition | al Remarks for per | mit applicant's | explanation. | |
| | | | | | | | | | |
| E. ADDIT | IONAL REMARKS | | | | | | | | |
| This table | includes remarks made | by the permit | applicant to th | e Authority Havin | g Jurisdiction. | | | | |
| | | | | | | | | | |
| | | | | | | | | | |
| | R LIGHTING FIXTURE | | | | | | | | |
| | ructions: Include all perr Wattage: Conditioned ! | | ned lighting and | i ali portable light | ing in offices. | | | | |
| 01 | 02 | эрассэ | 03 | 04 | 05 | 06 | 07 | 08 | 09 |
| Name or | | | Modular | Small Aperture | Watts per | How Wattage is | Total number | Exempt per | |
| Item Tag | Complete Luminaire | Description | 1 | & Color Change ¹ | luminaire ² | determined | luminaires | §140.6(a)3 | Design Wat |
| Α | 2X4 LED RECESSED | TROFFER | | | 39 | Mfr. Spec ² | 2 | | 78 |
| | | | | | | Total Designe | d Watts CONDIT | NED SPACES: | 78 |
| FOOTNO | TE: Design Watts for sm | aall apartees | and color char- | ina luminaissa sat | ich qualif | r 6140 6/al40 in | lineted to be Tri | K of their rate ! | wattage Tel |
| | s adjustment, the permi | | | | | . <u>11 1010[07 15</u> 15 00 | justica to se isi | o of their rateu . | |
| ² Authorit | y Having Jurisdiction ma | | | | | compliance per <u>§13</u> | <u>30.0(c)</u> Wattage | used must be th | ne maximum i |
| luminaire, | not the lamp. | | | | | | | | |
| G. MODI | JLAR LIGHTING SYSTE | FMS | | | | | | | |
| | on Does Not Apply | | | | | | | | |
| 300010 | | | | | | | | | |
| | | | | | | | | | |
| | | | | | | | | | |
| CA Building | Energy Efficiency Standar | rds - 2019 Nonr | esidential Compli | ance: http://www.s | neravca anu/t | ritle24/2019ctandare | ds. | | |
| CA Building | Energy Efficiency Standar | rds - 2019 Nonre | esidential Compli | ance: http://www.e | nergy.ca.gov/t | title24/2019standard | <u>ds</u> | | |
| | | rds - 2019 Nonre | esidential Compli | iance: http://www.e | nergy.ca.gov/t | title24/2019standard | <u>Is</u> | | |
| STATE OF CA | LIFÓRNIA | rds - 2019 Nonro | esidential Compli | iance: http://www.e | nergy.ca.gov/t | title24/2019standaro | ls | | |
| STATE OF CA Indoor NRCC-LTI-E (1 | LIFORNIA Lighting Created 10/20) | rds - 2019 Nonre | esidential Compli | ance: http://www.e | energy.ca.gov/t | title 24/2019 standard | <u>is</u> | CA | ALIFORNIA ENER |
| STATE OF CA I ndoor NRCC-LTI-E (I CERTIFICA | LIFORNIA Lighting Created 10/20) TE OF COMPLIANCE | | | | energy.ca.gov/t | | i <u>s</u> | CA. | ALIFORNIA ENER |
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CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance: http://www.energy.ca.gov/title24/2019standards

Controls Compliance (See Table H for Details)

Rated Power Reduction Compliance (See Table Q for Details)

Not Applicable

Indoor Lighting

NRCC-LTI-E (Created 10/20)

CERTIFICATE OF COMPLIANCE

Project Name: NEW PRESCHOOL - PINE VALLEY MIDDLE SCHOOL

Project Address: 7454 PINE BLVD, PINE VALLEY, VA 91962

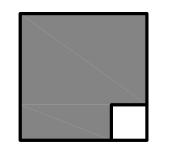
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|---------------------------------------|--|----------------------------------|-------------------------|----------------------|-------------------------------|--------------------------|----------------|------------|-----------------|
| CERTIFICATE OF COMP | PLIANCE PRESCHOOL - PINE VALLEY MIDDLE S | CHOOL | | Report Page: | | | | | IRCC-L age 3 |
| | PINE BLVD, PINE VALLEY, VA 91962 | CHOOL | | Date Prepared: | | | | r | age 5 8/1 |
| Froject Address. 7454 | FFINE BEVD, FINE VALLET, VA 91302 | | | Date Frepareu. | | | | | - 0/ |
| H. INDOOR LIGHTIN | G CONTROLS (Not Including PAFs) | + | | | | | | | |
| | ase include lighting controls for condit | | | | | | | | s tabl |
| · · · · · · · · · · · · · · · · · · · | ne lighting controls section of the Com | pliance Summary To | able on the first po | age will show "DOE. | S NOT COMPLY | " if the notes o | are left blank | | |
| Building Level Control | | | | | | | | | |
| | 01 | | | | 02 | | | 0 | |
| | Mandatory Demand Response | | | | f Controls | | - | Field In | <u> </u> |
| | §110.12(c) | | | | 0.1(c) | | | Pass | Fa |
| | Not Required ≤ 10,000 SF | | | See Area/Spac | e Level Control | S | | | |
| Area Level Controls | I 05 | 1 00 | | | | 40 | | | 40 |
| 04 | 05 | 06 | 07 | 08 | 09 | 10 | 11 | + | 12 |
| Area Description | Complete Building or Area Category | Area Controls | Multi-Level Controls | Shut-Off Controls | Primary/Skylit Daylighting | Secondary Daylighting | | I FIEIG I | nspec |
| Area Description | Primary Function Area | §130.1(a) | §130.1(b) | 5130.1(c) | §130.1(d) | §140.6(d) | §140.6(a) | | F |
| RESTROOM | Restroom | m Manual ON/ Exempt* Occ. Sensor | | NA | NA | | | | |
| *NOTES: Controls with | a * require a note in the space below | explaining how co | mpliance is achiev | red. | | | 13 | | |
| , | ary/Skylight Daylighting: Exempt bec | ause less than 120 v | vatts of general lig | ghting; | Р | lan Sheet Sho | wing Daylit Z | ones: | |
| EXCEPTION 1 to §130. | <u>1(d)2</u> | | | | | | | | |
| RESTROOM | ONE FIXTURE, NO GLAZING | | | | | | | | |
| | | | | | | | | | |
| | | | | - | | | | | |
| | ALLOWANCE: COMPLETE BUILDIN | | | | | 1 1 11 1 15 | 1.0-1 1.0 | 1.1 | |
| | nplete the table for each area comply: (c) or adjustments per §140.6(a) are b | | ete Building or Ar | ea Category Metho | ds per <u>§140.6(b</u> |). Indicate if (| additional lig | hting pow | er |
| Conditioned Spaces | cy or adjustments per <u>\$140.0[0]</u> are b | errig useu. | | | | | | | |
| 01 | | 02 | | 03 | 04 | 05 | | 06 | |
| | | | | Allowed | | Allowed | Addition | nal Allowa | nces |
| Area Descript | | Building or Area Ca | | Density | Area | Wattage | 1 | djustment | , |
| | Pri | mary Function Area | | (W/ft ²) | (ft²) | (Watts) | Area Categ | ory | PAF |
| RESTROOM | 1S | Restroom | | 0.65 | 126 | 81.9 | | | |
| | | | | TOTAL | : 126 | 81.9 | See Table | | |

| CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance: http://www.energy.ca.gov/title24/2019standards | October 2020 |
|--|--------------|
| | |

| CERTIFICATE OF COMPLIANCE | | NRCC- |
|--|--|--------|
| Project Name: NEW PRESCHOOL - PINE VALLEY MIDDLE SCHOOL | Report Page: | Page 4 |
| Project Address: 7454 PINE BLVD, PINE VALLEY, VA 91962 | Date Prepared: | 8/ |
| J. ADDITIONAL LIGHTING ALLOWANCE: AREA CATEGORY METHOD Q | JALIFYING LIGHTING SYSTEM | |
| This Section Does Not Apply | | |
| K. TAILORED METHOD GENERAL LIGHTING POWER ALLOWANCE | | |
| This Section Does Not Apply | | |
| L. ADDITIONAL LIGHTING ALLOWANCE: TAILORED WALL DISPLAY | | |
| This Section Does Not Apply | | |
| M. ADDITIONAL LIGHTING ALLOWANCE: TAILORED FLOOR AND TASK | LIGHTING | |
| This Section Does Not Apply | | |
| N. ADDITIONAL LIGHTING ALLOWANCE: TAILORED ORNAMENTAL/SP | ECIAL EFFECTS | |
| This Section Does Not Apply | | |
| O. ADDITIONAL LIGHTING ALLOWANCE: TAILORED VERY VALUABLE N | /FRCHANDISE | |
| This Section Does Not Apply | | |
| P. POWER ADJUSTMENT: LIGHTING CONTROL CREDIT (POWER ADJUST | STMENT FACTOR (PAF)) | |
| This Section Does Not Apply | The state of the s | |
| Q. RATED POWER REDUCTION COMPLIANCE FOR ALTERATIONS | | |
| This Section Does Not Apply | | |
| R. 80% LIGHTING POWER FOR ALTERATIONS - CONTROLS EXCEPTION | c | |
| This Section Does Not Apply | , | |
| S. DAYLIGHT DESIGN POWER ADJUSTMENT FACTOR (PAF) | | |
| This Section Does Not Apply | | |
| This section Bots Not (Apply) | | |
| T. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION | | |

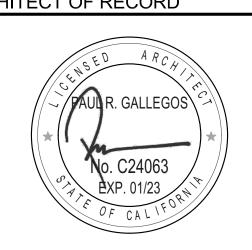
CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance: http://www.energy.ca.gov/title24/2019standards

ALPHASTUDIO DESIGN GROUP



6152 INNOVATION WAY CARLSBAD, 92009 760-431-2444 www.alphastudio-design.com

ARCHITECT OF RECORD



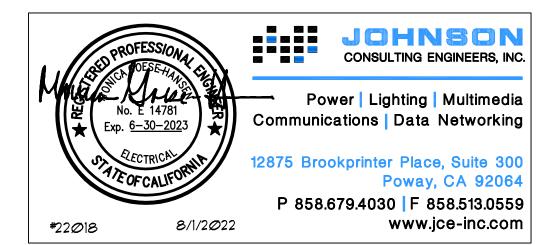
ENGINEER OF RECORD

REVISIONS

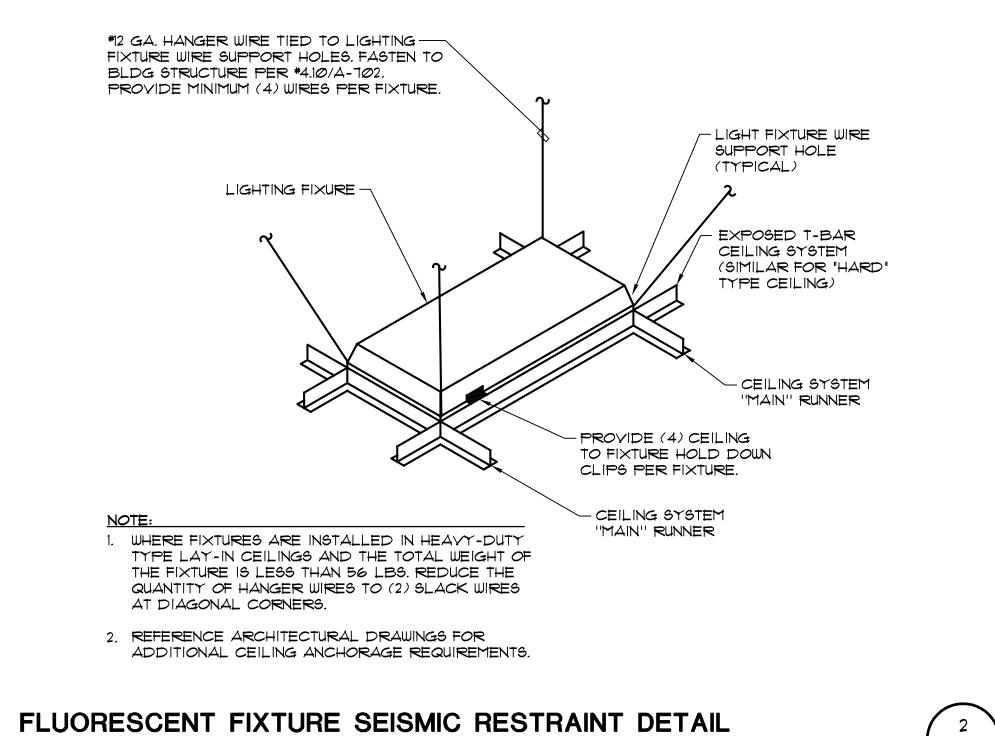
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22-005_MEUSD Pine Valley MS Preschool.pln PLOT DATE: 6/15/2022 SHEET TITLE

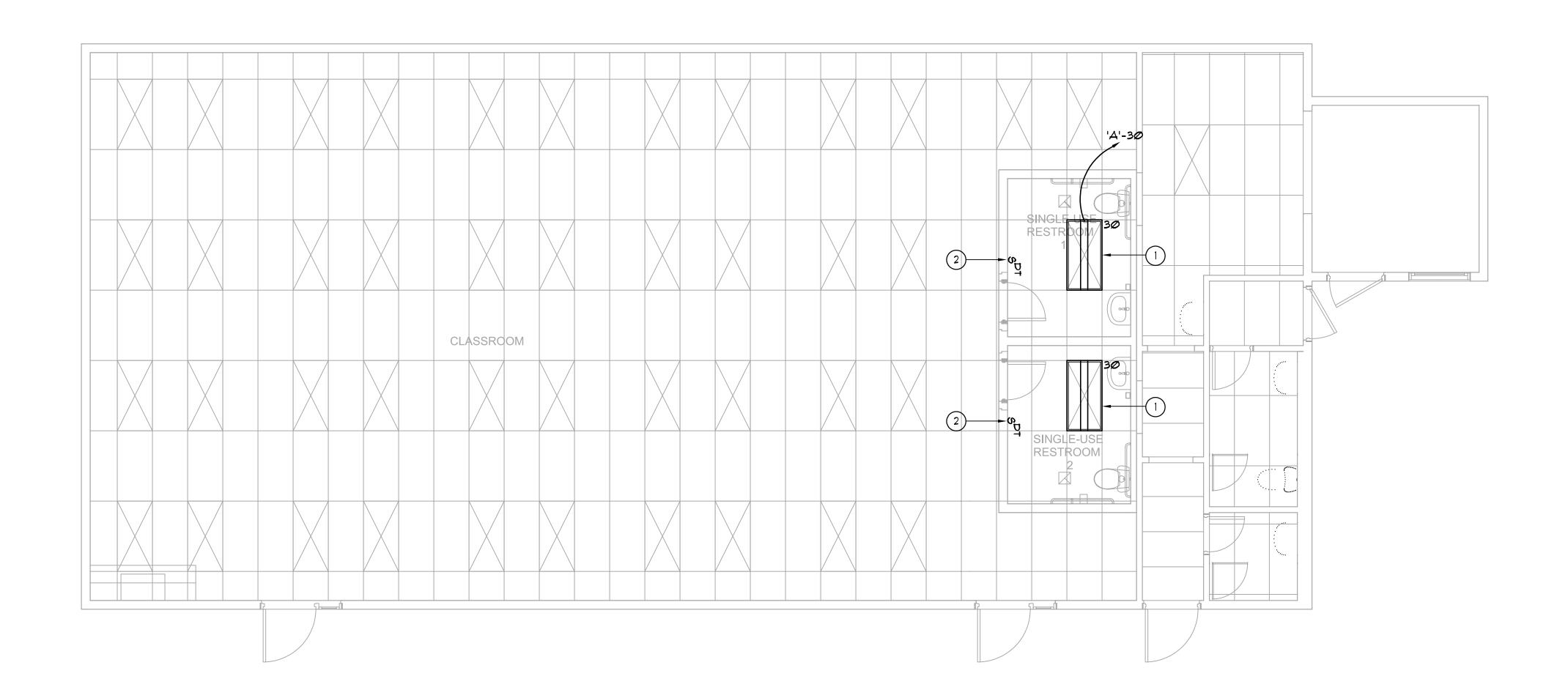
TITLE 24







NO SCALE



E2.1

FLOOR PLAN - LIGHTING

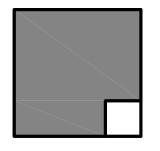
GENERAL NOTES

- 1. REFERENCE ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATION OF ALL LIGHTING FIXTURES.
- 2. REFERENCE E2 SERIES SHEETS FOR TYPICAL DETAILS.
- 3. LETTERS IN OR ADJACENT TO EACH FIXTURE OR FIXTURE ROW INDICATES SWITCH AND OR OCCUPANCY SENSOR WHICH CONTROLS THE LIGHTING FIXTURE.
- 4. CIRCUIT HOMERUNS ARE INDICATED TO SHOW THE LOCATION AND NUMBER OF CIRCUITS TO BE GROUPED TOGETHER.
- 5. PROVIDE MINIMUM 3/4" CONDUIT AND #12 CIRCUIT CONDUCTORS AS REQUIRED TO CONNECT EACH LIGHTING FIXTURES TO THEIR INDICATED CONTROL DEVICES. (U.O.N.)

KEY NOTES:

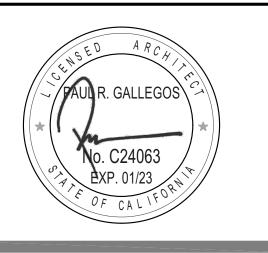
- 1) LITHONIA #2VTL4-48L-ADP-EZI-LP840.
- 2 SENSOR SWITCH *WSX-PDT LINE YOLTAGE DUAL TECH SERIES. WHITE FINISH. ROUTE CIRCUIT 'A1'-30 YIA WALL SENSOR SWITCH AS REQUIRED.

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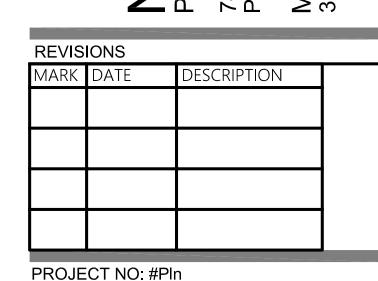
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ARCHITECT OF RECORD



ENGINEER OF RECORD

V PRESCHOOL



PROJECT NO: #Pln
MODEL FILE:

22-005_MEUSD Pine Valley MS Preschool.pln
PLOT DATE:

6/15/2022

SHEET TITLE
FLOOR PLAN

Power | Lighting | Multimedia |
Communications | Data Networking |
Poway, CA 92064
P 858.679.4030 | F 858.513.0559 |
Www.jce-inc.com

E-2.1

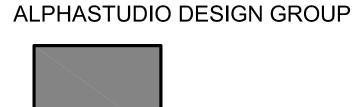
LIGHTING

KEY NOTES:

- 1) 3/4"C.O. TO PANEL 'A1'.
- 2 EXHAUST FAN LOCATED ON ROOF. REFER TO MECHANICAL DRAWINGS FOR EXACT LOCATION.
- 3) PROVIDE (3) 20A/IP BREAKERS IN EXISTING SPACE #26, #28 AND #30.
- 4 PROVIDE MANUAL MOTOR STARTER SWITCH AS THE DISCONNECT MEANS FOR THE EXHAUST FAN...
- EXISTING DATA OUTLET AND FACEPLATE INSTALLED IN NEW LOCATION. RE-TERMINATE EXISTING DATA CABLING AS REQUIRED.
- FUTURE INSTAHOT LOCATION. PROVIDE RECESSED JUNCTION BOX WITH BLANK COVER FIELD VERIFY EXACT LOCATION.

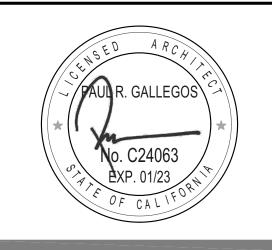
GENERAL NOTES

- REFERENCE ARCHITECTURAL INTERIOR ELEVATIONS FOR EXACT LOCATION OF ALL WALL MOUNTED POWER DEVICES WHERE INDICATED AT MOUNTING HEIGHTS OTHER THAN +18".
- 2. REFERENCE E3 SERIES SHEETS FOR TYPICAL CONDUIT AND BACKBOX INSTALLATION DETAILS.
- 3. NUMBERS ADJACENT TO EACH POWER DEVICE INDICATES THE CIRCUIT NUMBER TO WHICH THE DEVICE IS TO BE CONNECTED.
- 4. CIRCUIT HOMERUNS ARE INDICATED TO SHOW THE LOCATION AND NUMBER OF CIRCUITS TO BE GROUPED TOGETHER.
- 5. PROVIDE MINIMUM 3/4" CONDUIT AND #12 CIRCUIT CONDUCTORS AS REQUIRED TO CONNECT EACH POWER DEVICE TO THEIR INDICATED CIRCUIT (U.O.N.).
- 6. FIELD VERIFY EXACT ROUTING LOCATION FOR CONCEALED CONDUITS AND RECEPTACLES PRIOR TO ROUGH-IN.

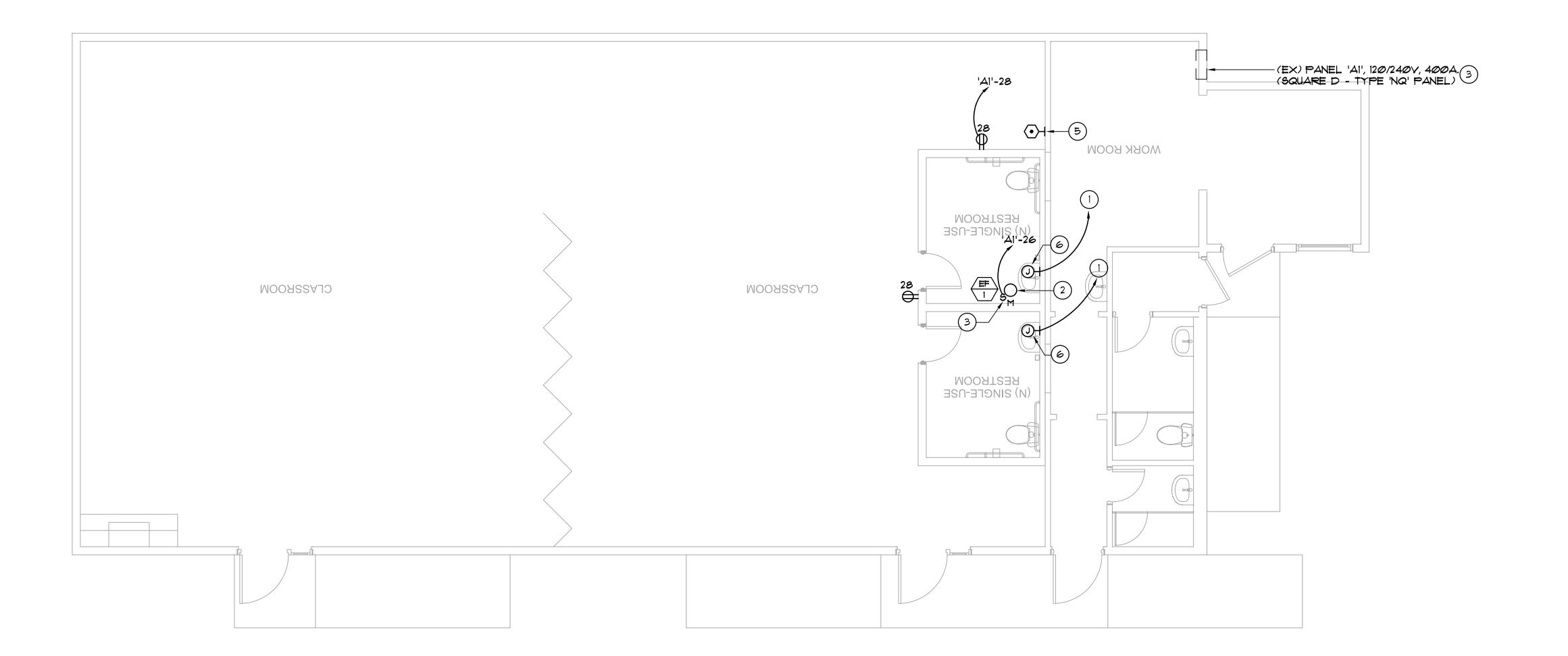


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REVISIONS

PROJECT NO: #Pln MODEL FILE: 22-005_MEUSD Pine Valley MS Preschool.pln

PLOT DATE:

6/15/2022 SHEET TITLE

FLOOR PLAN POWER & COMM.

E-3.1

JOHNSON CONSULTING ENGINEERS, INC. Communications | Data Networking 12875 Brookprinter Place, Suite 300 Poway, CA 92064 P 858.679.4030 | F 858.513.0559 www.jce-inc.com #22018

FIRE ALARM NOTE: THIS FIRE ALARM DESIGN IS A COMPLETE PLAN SUBMITTAL IN ACCORDANCE WITH 2019 CBC 907.1.

EXPANSION OF EXISTING SYSTEM: THIS PROJECT ADDS TO AND OR MODIFIES AN EXISTING SYSTEM, PREVIOUSLY APPROVED BY DSA. ALL NEW COMPONENTS ARE COMPATIBLE WITH THE EXISTING SYSTEM EQUIPMENT.

HE MANUAL PULL STATION MOUNTED BETWEEN 42" TO 48" A.F.F. TO HIGHEST POINT OF OPERATING HANDLE OR LEVER OF DEVICE.

CEILING MOUNTED FLASHING LIGHT STROBE (15 = STROBE CANDELA RATING)
15 (SI = SIGNAL CIRCUIT IDENTIFICATION)

SI WALL MOUNTED HORN MOUNTED +90" A.F.P.

HEN BOTTOM OF DEVICE (SI = SIGNAL CIRCUIT WALL MOUNTED HORN MOUNTED +90" A.F.F. TO IDENTIFICATION)

FACE MAIN FIRE ALARM CONTROL PANEL

FIRE ALARM SYMBOL LEGENDS

EOL END OF LINE RESISTOR

GENERAL NOTES

IDENTIFICATIONS.

REFERENCE ARCHITECTURAL INTERIOR ELEVATIONS FOR EXACT LOCATION OF ALL WALL MOUNTED DEVICES.

2. REFERENCE E5 AND E8 SERIES SHEETS FOR TYPICAL CONDUIT AND BACKBOX INSTALLATION DETAILS.

3. REFERENCE RISER DIAGRAMS FOR TYPICAL CONDUIT SIZES AND INITIATION ZONE CIRCUIT

4. REFERENCE MECHANICAL PLANS FOR EXACT LOCTION OF ALL DUCT DETECTORS AND SMOKE DAMPER LOCATIONS.

5. UNLESS OTHERWISE NOTED SOLID LINES BETWEEN DEVICES SHALL BE 1" E.M.T. ROUTED CONCEALED ABOYE CEILINGS OR IN WALLS. DASHED LINES INDICATE 1-1/2" P.Y.C. UNDERGROUND CONDUIT. ALL WIRING TO BE PROVIDED PER MANUFACTURER SHOP DRAWINGS.

6. CONTRACTOR SHALL PROVIDE CEILING ACCESS PANEL AT ALL NON-LAYIN TYPE CEILINGS, WHERE HEAT DETECTOR ABOVE CEILING IS INDICATED.

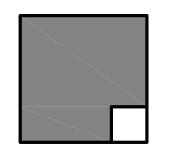
7. PROVIDE WIRE PROTECTIVE GUARD OVER ALL FIRE ALARM DEVICES LOCATED IN THE FOLLOWING AREAS: GYMNASIUM, LOCKER ROOMS, SHOP AREAS, AND ANY OTHER AREA WHERE DEVICES MAY BE SUBJECT TO CONTACT.

KEY NOTES

CONNECT NEW PULL STATIONS TO EXISTING MAIN FIRE ALARM CONTROL PANEL AND RECONFIGURE THE SIGNAL LINE CIRCUIT AS REQUIRED.

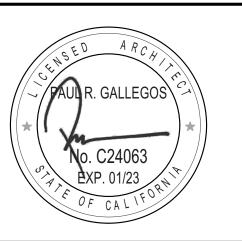
2 CONNECT CEILING STROBES TO EXISTING MAIN FIRE ALARM CONTROL PANEL AND RECONFIGURE THE NAC CIRCUITS AS REQUIRED.

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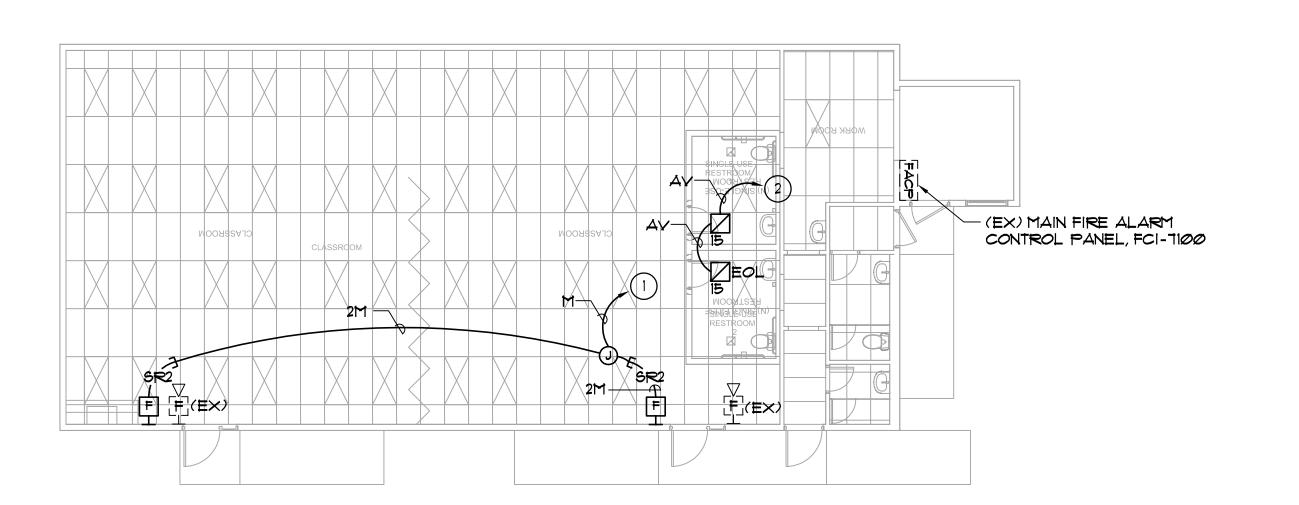


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REVISIONS PROJECT NO: #Pln

MODEL FILE: 22-005_MEUSD Pine Valley MS Preschool.pln

PLOT DATE: 6/15/2022

SHEET TITLE

Communications | Data Networking 12875 Brookprinter Place, Suite 300 Poway, CA 92064 P 858.679.4030 | F 858.513.0559 www.jce-inc.com

JOHNSON CONSULTING ENGINEERS, INC. #22018

FLOOR PLAN - FIRE ALARM

E-5.1

FLOOR PLAN

FIRE ALARM

| | | | (EX) FCI MODEL 7100 | | |
|-----|------------|-----------|--|------------------|---------------|
| | <u>SYM</u> | MODEL NO. | <u>DESCRIPTION</u> | C.S.F.M. LISTING | MFG. |
| 001 | FACP | FCI-7100 | (EX) FIRE ALARM CONTROL PANEL | 7165–1703: 0105 | GAMEWELL FCI |
| 006 | Æ | MS-7AF | MANUAL PULL STATION — ADDRESSABLE | 7150–1703: 0119 | GAMEWELL FCI |
| 020 | | SCWL | STROBE (15/30/75/110) cd (CEIL MNT) | 7125–1653: 0504 | SYSTEM SENSOR |
| 028 | \sim | TYPE FPL | SIGNAL LINE CIRCUIT CONDUCTORS ('M') | 7161-2067: 0100 | WEST PENN |
| 029 | \sim | TYPE THHN | AUDIO VISUAL AND POWER CONDUCTORS (AV,P) | N/A | SOUTHWIRE |

| ANNUNCIATOR ZONE SCHEDULE | | | | | | | | | |
|---------------------------|--|------------------------------------|----------------------------|-------------------|---------------------|--------------------|--|--|--|
| | ROOM SMOKE, CO OR HEAT DETECTORS | ABOVE CEILING HEAT DETECTORS | MANUAL PULL STATIONS | DUCT DETECTORS | SPRINKLER SYSTEM | TROUBLE INDICATION | | | |
| BLDG. E | YES | YES | YES | NO | NO | YES | | | |
| | | | | | | | | | |
| | | | | | | | | | |
| | | | | | | | | | |
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| | | | | | | | | | |

. ALL SMOKE DETECTORS, HEAT DETECTORS ABOVE CEILING DETECTORS, MANUAL PULL STATIONS SHALL BE INDIVIDUALLY ADDRESSABLE.

| | WIRING SCHEDULE | | | | | | | | | |
|-----|-------------------------------|------------------|---------------------------|--|--|--|--|--|--|--|
| DES | CONDUCTOR TYPE | WIRE COLOR | CIRCUIT TYPE | | | | | | | |
| | | | | | | | | | | |
| М | (1) 1 PR #14 TWISTED SHIELDED | RED/BLACK/SHIELD | SIGNAL LINE CIRCUIT | | | | | | | |
| AV | (2) #12 THHN (UON ON CALCS) | BLUE/WHITE | NOTIFICATION APP. CIRCUIT | | | | | | | |
| | | | | | | | | | | |
| Р | (2) #12 THHN | RED/BLACK | POWER | | | | | | | |

FIRE ALARM MONITORING NOTE:

1. AUTOMATIC FIRE ALARM SYSTEMS SHALL TRANSMIT THE ALARM, SUPERVISORY AND TROUBLE SIGNALS TO AN APPROVED SUPERVISING STATION AS REQUIRED BY NFPA 12 AS AMENDED BY CFC SECTION 901. THE SUPERVISING STATION SHALL BE LISTED AS EITHER UUFX OR UUJS BY UNDERWRITERS LABORATORY OR SHALL MEET THE REQUIREMENTS OF FACTORY MUTUAL RESEARCH APPROVAL STANDARD 3011. SUPERVISION OF SYSTEM AND LEASED TELEPHONE LINES SHALL BE ARRANGED BY OWNER.

FIRE ALARM GENERAL REQUIREMENTS:

- 1. THE COMPLETE INSTALLATION SHALL BE REVIEWED AND APPROVED BY THE ABOVE LOCAL MANUFACTURERS REPRESENTATIVE. SEE SPECIFICATIONS (28 30 01), FOR ADDITIONAL CONTRACTOR QUALIFICATIONS AND REQUIREMENTS.
- 2. UNLESS OTHERWISE NOTED SOLID LINES BETWEEN DEVICES SHALL BE 1" EM.T. ROUTED CONCEALED ABOVE CEILINGS OR IN WALLS. DASHED LINES INDICATE 1-1/2" P.Y.C. UNDERGROUND CONDUIT. ALL WIRING TYPES AND QUANITITES SHOWN ARE FOR INFORMATION ONLY. THE CONTRACTOR SHALL PROVIDE ALL WIRING AS REQUIRED TO MAKE A FULLY OPERATIONAL SYSTEM. SHOP DRAWINGS AND OR AS-BUILT DOCUMENTS SHALL INDICATE ALL WIRING PROVIDED.
- 3. THE AUDIBILITY OF FIRE ALARM WARNING DEVICES SHALL BE AUDIBLE THROUGH THE OCCUPANCY WITH A MINIMAL SOUND LEVEL 15 db's OVER THE AMBIENT NOISE LEVEL. ADD ADDITIONAL DEVICES AS REQUIRED.
- 4. UPON COMPLETION OF THE INSTALLATION OF THE FIRE ALARM SYSTEM, A REACCEPTANCE TEST OF THE ENTIRE SYSTEM SHALL BE PERFORMED IN THE PRESENCE OF THE ENFORCING AGENCY AND IN ACCORDANCE WITH SPECIFICATIONS (28 30 01). THE CONTRACTOR SHALL FURNISH db METERS AND ALL OTHER EQUIPMENT TO PERFORM THESE TESTS.
- 5. ALL CONDUIT PENETRATIONS THROUGH FIRE RATED PARTITIONS SHALL PREVENT THE PASSAGE OF HEAT, SMOKE AND FIRE GASES. ALL PENETRATIONS SHALL COMPLY WITH U.L. ASSEMBLY WL-1001. REFER TO THROUGH-PENETRATION FIRESTOP DETAIL ON THE DETAIL SHEET.
- 6. ALL OPERATING HARDWARE AT INITIATING DEVICES SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST, AND THE FORCE REQUIRED TO OPERATE SHALL BE LESS THAN 5 POUNDS.

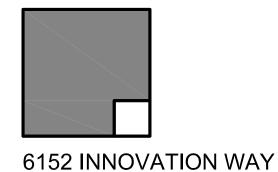
APPLICABLE CODES/STANDARDS

SEE SHEET T-002 FOR APPLICABLE CODES AND STANDARDS

| | | | | | | UBING I | MIN | MUM | | | DE SIZE ZE FOR | | | | |
|---|------------------|----------------------|----------------|---------------------|----------|------------|--------|----------|-----------|------------|-------------------|-----------|-----------|-----|-----|
| CONDUIT (II | TRADE NCHES) | SIZE | | 1/2 | 3/ | 4 1 | | 1 1/4 | 1 1/2 | 2 | 2 1/2 | 3 | 3 1/2 | 4 | , |
| TYPE LETTERS SIZE AWG, kcmil | | | | | | | | | | | | | | | |
| THWN | | 14 | | 13 10 | 24 18 | 39 3 29 | | 69 51 | 94 70 | 154 114 | 164 | | | | |
| THHN | | 10 | | 6 3 | 11 | | | 32 16 | 44 22 | 73 36 | 104 51 | 160 79 | 106 | 136 | |
| | | | | | • | | | | AREA- | -SQUARE | NCHES | | ! | | |
| | | | | | | PERC | ENT R | EDUCTIO | ON PER NU | IMBER OF | 18AWG TWIS | STED SHI | ELD PAIRS | | |
| TRADE SIZE | | RNAL IETER IES | 100% INCHES | OVER CONI 40% |). | 1 | 2 | 2 | 3 | 4 | 5 | 6 | 7 | | 8 |
| 1/2 | .62 | 2 | .30 | .12 | | 38% | 66 | 5% | 99% | Х | Х | Х | х | | Х |
| 3/4 | 3/4 .824 .53 .21 | | 19% | 38 | 3% | 57% | 76% | 95% | х | x | | X | | | |
| 1 1.049 .86 .34 12% 24% 36% 48% 60% 1 1/4 1.380 1.50 .60 7% 14% 21% 28% 35% | | 36% | ۶ 48% 60% | | 72% | 84% | 4% 96% | | | | | | | | |
| | | 42% | 49% | 5 | 56% | | | | | | | | | | |
| 1 1/2 | 1.610 | 0 | 2.04 | .82 | | 5% | 10 | % | 15% | 20% | 25% | 30% | 35% | \$ | 40% |
| 2 | 2.06 | 7 | 3.36 | 1.34 | | 3% | 6 | % | 9% | 12% | 15% | 18% | 21% | | 24% |

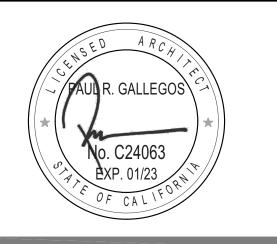
| FIRE ALARM SEQUENCE OF OPERATION | | | | | | | |
|--|---------------------------|-------------------------------------|------------------------|---------------------------------------|------------------------------------|--|--|
| DEVICE | MANUAL PULL STATION | AREA/DUCT SMOKE/HEAT DETECTOR | AC POWER FAILURE | SPRINKLER ACTIVATION TAMPER SW. | SPRINKLER ACTIVATION FLOW SW | | |
| SOUND ALARM TROUGHOUT BLDG. | YES | YES | NO | N/A | YES | | |
| ACTIVATE RELAY FOR MONITORING | YES | YES | YES | N/A | YES | | |
| ANNUNCIATE AT PANEL AND ANNUNCIATOR | YES | YES | YES | N/A | YES | | |
| SOUND TROUBLE BUZZER | ON WIRING FAULT | ON WIRING FAULT | YES | N/A | ON WIRING FAULT | | |
| SOUND SPRINKLER BELL | NO | NO | NO | N/A | YES | | |
| REPORT TO MONITORING STATION | YES | YES | YES | YES | YES | | |
| INITIATE SHUTDOWN OF HYAC UNITS | YES | YES | NO | N/A | YES | | |



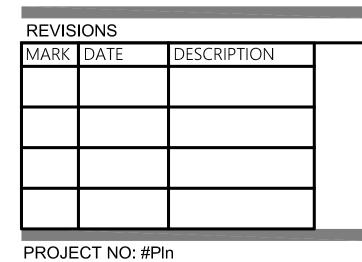


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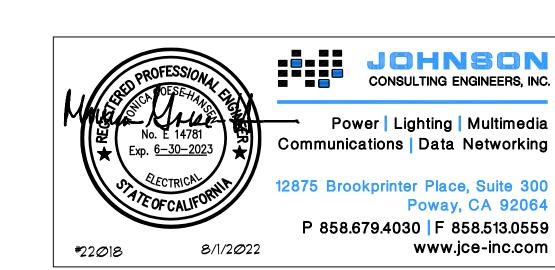
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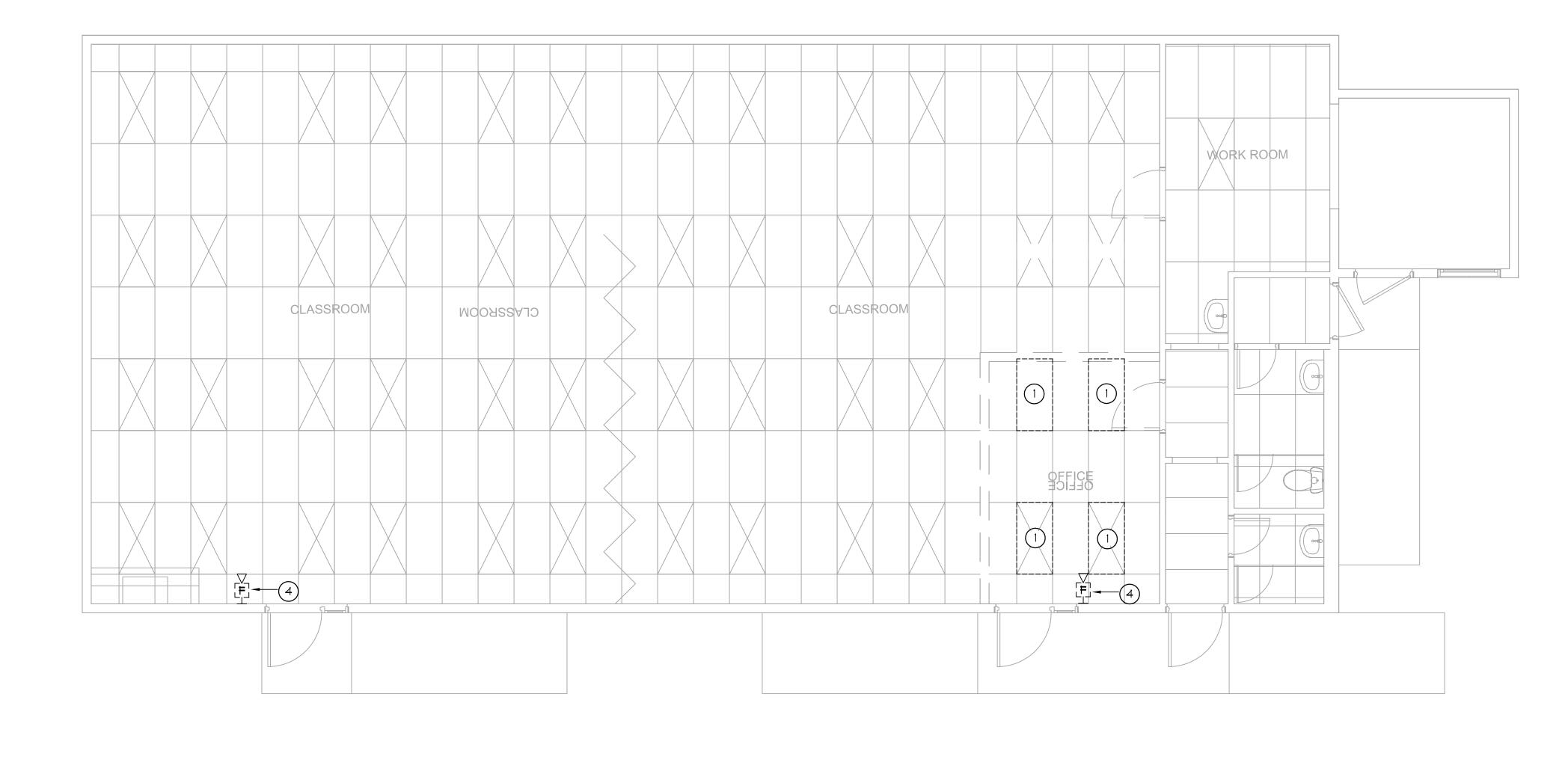
PLOT DATE: 6/15/2022

SHEET TITLE

FIRE ALARM SCHEDULE AND DETAILS

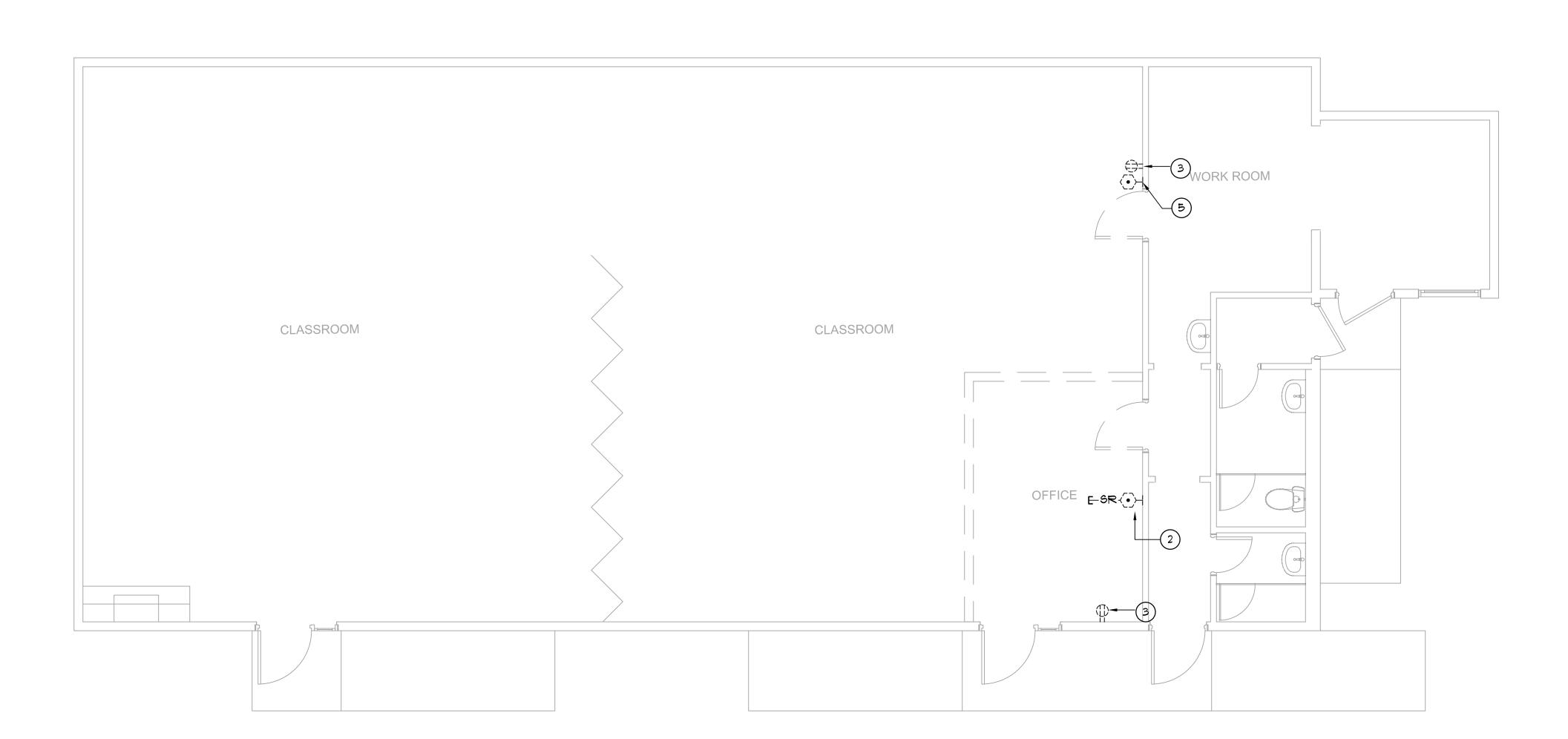
E-5.2





DEMOLITION FLOOR PLAN - LIGHTING

1/4" = 1'-0"



DEMOLITION FLOOR PLAN - POWER & COMM

1/4" = 1'-0"

DEMOLITION GENERAL NOTES

1. ALL ITEMS SHOWN ON THIS DRAWING ARE EXISTING TO BE REMOVED UNLESS OTHERWISE NOTED. SEE REQUIREMENTS BELOW FOR SCOPE OF WORK. ALL OTHER ELECTRICAL ITEMS IN THIS BUILDING ARE EXISTING TO REMAIN, MAINTAIN POWER CIRCUIT CONTINUITY UNTIL NEW SOURCE IS ENERGIZED AND READY FOR TRANSFER, REFER TO POWER AND LIGHTING PLANS.

2. ALL ELECTRICAL DEMOLITION WORK SHALL BE DIRECTED BY THE ELECTRICAL CONTRACTOR.

GENERAL DEMOLITION REQUIREMENTS

- <u>LIGHTING FIXTURES</u> WHERE EXISTING LIGHTING FIXTURES ARE TO BE REMOVED, AND ARE NOT RELOCATED, CONTRACTOR SHALL DISPOSE OF ALL FIXTURES INCLUDING LAMPS AND BALLAST.
- <u>WIRING DEVICES</u> WHERE EXISTING SWITCHES OR RECEPTACLES ARE TO BE REMOVED, THE CONTRACTOR SHALL DISPOSE OF ALL DEVICES AS REQUIRED.
- COMMUNICATION DEVICES WHERE EXISTING TELEPHONE/INTERCOM AND CLOCK HEAD END EQUIPMENT, PHONES, SPEAKERS AND OTHER ASSOCIATED EQUIPMENT ARE TO BE REMOVED, THE CONTRACTOR SHALL DISPOSED OF ALL DEVICES AND EQUIPMENT AS REQUIRED.
- <u>FIRE ALARM</u> WHERE EXISTING FIRE ALARM PANELS AND ASSOCIATED SMOKE, HEAT, DUCT DETECTORS, PULL STATIONS AND STROBE OR HORN UNITS ARE TO BE REMOVED, THE CONTRACTOR SHALL DISPOSED OF ALL DEVICES AND EQUIPMENT AS REQUIRED.

ALL BOXES, EXPOSED CONDUIT, WIRE, AND

OTHER ITEMS ASSOCIATED WITH ELECTRICAL EQUIPMENT TO BE REMOVED, SHALL BE

DISCONNECTED, REMOVED AND DISPOSED OF

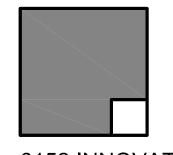
BY THE CONTRACTOR AS REQUIRED, UNLESS SPECIFICALLY NOTED OTHERWISE. CUT AND 6. CAP CONCEALED CONDUITS. PATCH, SEAL AND REPAIR SURFACE TO MATCH ADJACENT

AREA WHERE BOXES ARE REMOVED.

KEY NOTES:

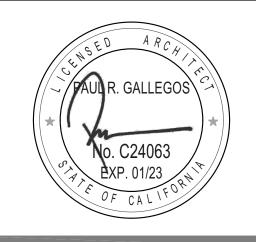
- DISCONNECT AND REMOVE EXISTING LIGHTING FIXTURE. DISCONNECT FIXTURE FROM EXISTING LIGHTING CIRCUIT AND MAINTAIN CIRCUIT CONTINUITY AS REQUIRED.
 - EXISTING DATA OUTLET AND SURFACE RACEWAY SHALL BE REMOVED. EXISTING CABLING SHALL BE REMOVED BACK TO MDF. REFER TO SITE PLAN FOR THE MDF LOCATION.
- (3) EXISTING RECEPTACLE TO REMAIN.
- 4 EXISTING WALL MOUNTED FIRE ALARM HORN TO REMAIN.
- EXISTING DATA OUTLET, CABLING AND FACE PLATE TO BE RELOCATED. REFER TO E3.1 FOR NEW OUTLET LOCATION.

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PLOT DATE: 6/15/2022

SHEET TITLE





ENLARGED SITE PLAN -DEMOLITION

E-10.1

PLUMBING PLAN CHECK NOTES

- WHERE PLUMBING PENETRATES THE FIRE RESISTIVE WALLS (AREA SEPARATION AND OCCUPANCY SEPARATION),
 THE SECTION PASSING THROUGH THE WALL SURFACE, AND THE FIXTURE CONNECTIONS ATTACHED THERETO, SHALL
 MEET CBC, FIRE AND TEMPERATURE RATING.
- ALL WATER HEATERS SHALL BE LISTED IN THE CEC LIST OF APPROVED WATER HEATERS.
- 3. ALL SERVICE HOT WATER PIPING SHALL BE INSULATED IN ACCORDANCE WITH CEC T-24, LATEST VERSION
- 4. ALL HOSE BIBBS SHALL HAVE PERMANENTLY MOUNTED VACUUM BREAKERS.
- CROSS CONNECTION PROTECTION SHALL BE PROVIDED AT ALL POTABLE WATER SUPPLIED APPLIANCES AND EQUIPMENT.
- BACK FLOW PREVENTION ASSEMBLIES SHALL BE TESTED BY A CERTIFIED BACK FLOW ASSEMBLY TESTER PRIOR TO USE OR OCCUPANCY.
- 7. LABEL MEDIUM PRESSURE GAS EVERY FIVE FEET.
- 8. LAVATORY FAUCETS IN REST ROOMS SHALL BE THE SELF-CLOSING TYPE
- 9. PROVIDE MIXING VALVE AT SHOWER CONTROLS.

MORE THAN 3".

- 10. STATE HEALTH & SAFETY CODE SEC. 17921.9 BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) FOR INTERIOR WATER SUPPLY PIPING.
- 11. ALL CONDENSATE DRAIN PIPING FROM MECHANICAL UNITS SIZED ACCORDING TO 2019 CALIFORNIA PLUMBING CODE TABLE 814.3. SLOPE ALL CD AT 1% TYPICAL.
- 12. SLOPE ALL ABOVE AND BELOW GRADE STORM WATER PIPING AT 1/8" PER FOOT (1%).
- 13. A WATER HEATER PRESSURE AND TEMPERATURE RELIEF VALVE THAT TERMINATES OUTSIDE THE BUILDING SHALL COMPLY WITH SECTION 608.5 CPC
- 14. WATER HEATERS SHALL BE BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION PER SECTION 507.2 CPC
- 15. VALVES, FIXTURES AND ALL OTHER APPURTENANCES SHALL CONFORM TO THE REQUIREMENTS OF CALIFORNIA ASSEMBLY BILL AB1953, LOW LEAD CONTENT AS APPLICABLE.
- 16. WATER HEATER (IWH-1) IS A LISTED NON-STORAGE INSTANTANEOUS HEATER HAVING AN INSIDE DIAMETER OF NOT
- 17. COMPRESSED LAB AIR, GASSES, AND VACUUM PIPING SHALL BE MARKED IN ACCORDANCE WITH ASME A13.1 MARKINGS USED FOR PIPING SYSTEMS SHALL CONSIST OF THE CONTENT'S NAME AND INCLUDE DIRECTION-OF-FLOW ARROW. MARKINGS SHALL BE PROVIDED AT EACH VALVE, AT WALL, FLOOR OR CEILING PENETRATIONS, AT EACH CHANGE OF DIRECTION, AND AT A MINIMUM OF EVERY 20 FEET OR FRACTION THEREOF THROUGHOUT THE PIPING RUN PER CEC 30003 4 3
- 18. PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL MEET THE WATER USAGE STANDARDS REFERENCED IN SECTION 5.303.3 OF THE 2019 CA GREEN BUILDING STANDARDS CODE UNLESS SCHEDULED WITH A LOWER WATER USAGE.
- 18.1. LAVATORY FAUCETS SHALL NOT EXCEED 0.5 GPM AT 60 PSI.
- 18.2. WATER CLOSETS SHALL NOT EXCEED 1.28 GPF
- 18.3. KITCHEN FAUCETS SHALL NOT EXCEED A WATER FLOW OF 1.8 GPM AT 60 PSI
- 18.4. WALL MOUNTED URINALS SHALL NOT EXCEED 0.125 GPF
- 18.5. SHOWERHEADS SHALL NOT EXCEED 1.8 GPM AT 80 PSI
- 18.6. METERING FAUCETS SHALL NOT EXCEED 0.20 GALLONS PER CYCLE

PIPE INSULATION NOTE

DOMESTIC HOT WATER PIPING SHALL BE INSULATED. HOT WATER PIPE INSULATION SHALL HAVE A MINIMUM WALL THICKNESS OF NOT LESS THAN THE DIAMETER OF THE PIPE FOR A PIPE UP TO 2 INCHES IN DIAMETER. INSULATION WALL THICKNESS SHALL BE NOT LESS THAN 2 INCHES FOR A PIPE OF 2 INCHES OR MORE IN DIAMETER.

1. PIPING THAT PENETRATES FRAMING MEMBERS SHALL NOT BE REQUIRED TO HAVE PIPE INSULATION FOR THE DISTANCE OF THE FRAMING PENETRATION.

DESCRIPTION

WATER CLOSET

LAVATORY

<u>S-1</u>

HOT WATER PIPING BETWEEN THE FIXTURE CONTROL VALVE OR SUPPLY STOP AND THE FIXTURE OR APPLIANCE SHALL NOT BE REQUIRED TO BE INSULATED.

PLUMBING GENERAL NOTES

- 1. CONTRACTOR SHALL CAREFULLY REVIEW THESE PLANS AND SPECIFICATIONS PRIOR TO BID. CONTRACTOR SHALL ALSO REVIEW PLANS AND SPECIFICATIONS OF OTHER RELATED TRADES (INCLUDING CIVIL, STRUCTURAL, AND ELECTRICAL) PRIOR TO BID TO INSURE AN ACCURATE UNDERSTANDING OF EXACT SCOPE OF WORK. ANY ITEMS REQUIRING CLARIFICATION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN SUFFICIENT TIME TO BE INCORPORATED INTO THE BID.
- 2. CONTRACTOR SHALL VERIFY ALL EQUIPMENT MODEL NUMBERS, CAPACITIES, SIZES, VOLTAGES, AND ALL OTHER SCHEDULED INFORMATION WITH OTHER APPLICABLE TRADES AND WITH THE MANUFACTURER PRIOR TO INSTALLATION.
- 3. CONTRACTOR SHALL VERIFY ALL LOCATIONS, SIZES, POC'S, INVERT ELEVATIONS, AND AVAILABILITY OF ALL EXISTING UTILITIES PRIOR TO INSTALLATION OF ANY MATERIAL OR EQUIPMENT.
- THESE DRAWINGS ARE ESSENTIALLY DIAGRAMMATIC AND ARE NOT INTENDED TO INDICATE ALL DETAILS AND NECESSARY OFFSETS OF PIPING. THE CONTRACTOR SHALL INSTALL MATERIAL AND EQUIPMENT IN A MANNER AS TO CONFORM TO STRUCTURE, AVOID OBSTRUCTIONS, PRESERVE HEADROOM, AND KEEP OPENINGS AND PASSAGEWAYS CLEAR. ALL INSTALLATIONS SHALL BE CONSISTENT WITH NORMALLY ACCEPTABLE INDUSTRY STANDARDS.
- 5. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES OR CONFLICTS THAT WOULD AFFECT THE SYSTEM PERFORMANCE OR INCUR ADDITIONAL COSTS. THIS NOTIFICATION SHALL BE SUBMITTED PRIOR TO INSTALLATION OF THE ITEMS CONCERNED.
- 6. NEW AND/OR EXISTING EQUIPMENT INDICATED ON THIS DRAWING IS SHOWN IN APPROXIMATE POSITION(S). CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING EQUIPMENT LOCATIONS, POC'S AND STRUCTURAL MEMBERS PRIOR TO INSTALLATION. IN ALL CASES, ADEQUATE ACCESS (PER MANUFACTURERS RECOMMENDATIONS AND CODE COMPLIANCE) FOR MAINTENANCE AND REPLACEMENT OF EQUIPMENT SHALL BE PROVIDED.
- 7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES. NOTHING SHOWN ON THE PLANS OR STATED IN THE SPECIFICATIONS IS INTENDED TO INDICATE THAT THE INSTALLATIONS OR CONNECTIONS OF ANY ITEM OR DEVICE SHOULD BE DONE CONTRARY TO MANUFACTURERS INSTRUCTIONS AND ALL APPLICABLE CODES AND REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT THE INSTALLATIONS AND CONNECTIONS OF ALL ITEMS AND DEVICES CONFORM TO MANUFACTURERS INSTRUCTIONS AND TO ALL APPLICABLE CODES AND REGULATIONS.
- 9. SUBSTITUTION OF PLUMBING EQUIPMENT WITH EFFICIENCIES LOWER THAN THOSE INDICATED ON THE PLANS MAY REQUIRE RE-CALCULATION OF TITLE 24 DOCUMENTS. IF THE CONTRACTOR CHOOSES TO UTILIZE SUCH EQUIPMENT, HE ASSUMES FULL RESPONSIBILITY FOR THE RE-CALCULATION AND JURISDICTIONAL APPROVAL OF TITLE 24 DOCUMENTS.
- 0. IF THE CONTRACTORS' USE OF SUBSTITUTE MATERIALS, EQUIPMENT OR METHODS OF INSTALLATION REQUIRES ANY CHANGES IN OTHER TRADES WORK FROM THAT SHOWN ON THE DRAWINGS, THE EXTRA COST OF THE OTHER TRADES WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR INITIATING THE SUBSTITUTION.
- 11. SUBMITTALS: APPROVAL OF THE SUBMITTALS DOES NOT RELEASE THE CONTRACTOR FROM OBLIGATIONS TO FULLY COMPLY WITH ALL REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS OR APPLICABLE CODE REGULATIONS.
- 2. ALL PLUMBING EQUIPMENT, MATERIAL, AND ALL CONNECTIONS THERETO SHALL BE INSTALLED COMPLETE PER MANUFACTURERS INSTRUCTIONS TO PROVIDE A COMPLETE AND FULLY OPERATIONAL SYSTEM.
- 3. PLUMBING EQUIPMENT SHALL BE CERTIFIED BY AND COMPLY WITH THE STATE OF CALIFORNIA ENERGY CONSERVATION STANDARDS (E.E.S.) SECTION 110.3. COMPLIANCE CERTIFICATES SHALL BE PROVIDED WITH EQUIPMENT SUBMITTALS.
- 14. WHERE NON-METALLIC PIPING PENETRATES AREA SEPARATION, 1 HOUR, OR 2 HOUR WALLS, THE PIPE SECTION PASSING THROUGH THE WALLS AND EXTENDING A DISTANCE OF 5 FEET ON EITHER SIDE THERE-OF SHALL BE OF METAL ONLY
- METAL ONLY.

 5. CONDENSATE DRAIN PIPING FROM EQUIPMENT WITHIN BUILDING SHALL BE INSULATED A MINIMUM DISTANCE OF 20
- (TWENTY) FEET FROM SAID EQUIPMENT.

 16. ALL INSULATING MATERIALS INSTALLED MUST BE CERTIFIED BY CALIFORNIA ENERGY COMMISSION TO MEET C.E.C.
- ENERGY EFFICIENCY STANDARDS (E.E.S.) SECTION 110.8, 120.3 AND 120.4.
- 17. PILOTLESS IGNITION OF GAS APPLIANCES SHALL COMPLY WITH BUILDING ENERGY EFFICIENCY STANDARDS (E.E.S.) SECTION 110.5.
 18. WATER HEATERS FOR DOMESTIC HOT WATER SHALL COMPLY WITH THE STATE OF CALIFORNIA ENERGY EFFICIENCY
- STANDARDS (E.E.S.) SECTION 110.3.
- 9. ALL NATURAL GAS PIPING LOCATED EXPOSED ABOVE GRADE SHALL BE INSTALLED SO THAT THE INVERT ELEVATION OF SUCH PIPING SHALL BE KEPT AT LEAST 6" ABOVE GRADE OR STRUCTURE.
- 20. ALL HOSE BIBBS INSTALLED SHALL BE EQUIPPED WITH VACUUM BREAKERS.
- 21. LAVATORY FAUCETS IN ALL TOILET ROOMS SHALL BE THE SELF CLOSING TYPE.22. SOIL, SEWER AND WASTE PIPING SHALL SLOPE AT 1/4" PER FOOT MINIMUM.
- 23. ALL PLUMBING SOLDER SHALL BE LEAD FREE.

MANUFACTURER & MODEL

FLUSH VALVE. FLOOR MOUNTED, ADA COMPLIANT.

PLUMBING FIXTURE CONNECTION SCHEDULE

ELECTRICAL REQUIREMENTS

MINIMUM PIPE CONNECTION (INCHES)

ROUGH-IN ROUGH-IN

1-1/2"

3/4"

3/4"

WASTE

VENT

24. ALL COMPONENTS OF POTABLE WATER SYSTEM, INCLUDING SHUT OFF VALVES, ANGLE STOPS, AND PLUMBING FIXTURES SHALL COMPLY WITH CALIFORNIA LAW AB 1953 AND SECTION 116875 OF THE CALIFORNIA HEALTH AND SAFETY CODE.

AMERICAN STANDARD YORKVILLE VORMAX, 15" RIM HEIGHT. 1.28 GPF HET TANK, MANUAL

CHICAGO METERING FAUCET 857-665PSHABCP SINGLE FLOW PUSH VALVE, 1.5 GPM.

AMERICAN STANDARD LUCERNE WALL HUNG SINGLE HOLE, ADA COMPLIANT. 4" CENTER FAUCET,

ELKAY LUSTERTONE #DRKAD22055C CLASSIC STAINLESS STEEL SINGLE BOWL DROP IN ADA

SINK. PROVIDE WITH ELKAY FLEXI-GUARD CLASS ROOM BUBBLER LK1141A. PROVIDE WITH DRAIN

25. PROVIDE CLEANOUTS EVERY 100' AND AT ANY CHANGE OF DIRECTION EXCEEDING 135 DEGREES.

SPECIAL NOTE TO PLUMBING CONTRACTOR

THE DESIGN OF THIS PROJECT WAS BASED UPON INFORMATION CONTAINED IN DRAWINGS PROVIDED BY THE PROPERTY OWNER. DISCREPANCIES BETWEEN INDICATED AND ACTUAL FIELD CONDITIONS MAY EXIST. IT IS A REQUIREMENT THAT THE CONTRACTOR VISIT THE SITE AND WALK THE JOB BEFORE SUBMITTING HIS BID AND SHALL MAKE ALL ALLOWANCES FOR PLAN/FIELD CONDITION DISCREPANCIES PRIOR TO SUBMITTING FOR BID. DURING THE CONSTRUCTION PROCESS IF A DISCREPANCY IS FOUND TO EXIST, THE CONTRACTOR SHALL DETERMINE A FIELD SOLUTION TO RESOLVE THE PROBLEM, AND THEN FORWARD THIS INFORMATION TO THE ARCHITECT FOR SUBMITTAL TO THE ENGINEER FOR APPROVAL. ADDITIONALLY, SEE PLUMBING GENERAL NOTES, SHEET P-1.

COORDINATION NOTE

 ALL WORK INDICATED AS BEING LOCATED MORE THAN 5'-0" FROM BUILDING IS FOR REFERENCE ONLY, SEE CIVIL DRAWINGS FOR SIZE, LOCATIONS, ROUTING OF WATER AND SEWER LATERALS, LOCATION OF BACKFLOW PREVENTERS, FIRE HYDRANTS, VALVES, ETC.

SEISMIC NOTES

THE SEISMIC ANCHORAGE OF MECHANICAL DUCTWORK AND PIPING SHALL CONFORM TO 2016
 SMACNA GUIDELINES, SECTION AA AND TABLES AA-1 THROUGH AA-11M.

CONTRACTOR SHALL BE REQUIRED TO PROVIDE SEISMIC AND ANCHORAGE CALCULATIONS, SIGNED BY A REGISTERED STRCUTURAL ENGINEER FOR ALL NEW EQUIPMENT, DUCTWORK HANGERS, PIPING ETC.

EXCAVATION NOTES

. CONTRACTOR SHALL PROVIDE A SITE UTILITY LOCATOR SERVICE TO IDENTIFY ANY AND ALL UNDERGROUND UTILITY CONFLICTS IN RELATION TO TRENCH EXCAVATION, NEW PIPE INSTALLATION, AND BACKFILL REQUIREMENTS.

- 2. CONTRACTOR SHALL MEET WITH BUILDING OWNER AND INSPECTOR PRIOR TO ANY TRENCHWORK.
 CONTRACTOR SHALL PROVIDE EXACT TRENCH ROUTE SHOP DRAWINGS, OVERLAYED WITH THE SITE
 UTILITY LOCATOR UTILITY LOCATIONS FOR OWNER'S REVIEW PRIOR TO MEETING.
- CONTRACTOR SHALL HAND DIG IN ALL AREAS WITHIN 60" OF EXISTING UTILITIES, AS DISCOVERED DURING SITE UTILITY LOCATOR.
- CONTRACTOR SHALL NOTIFY BUILDING OWNER/PROJECT MANAGER 14 DAYS PRIOR TO ANY EXCAVATION.
- CONTRACTOR SHALL FOLLOW ALL APPLICABLE CODES AND REGULATION GUIDELINES FOR EXCAVATION, TRENCHING, BACKFILLING, AND COMPACTION,

EQUIPMENT ANCHORAGE NOTE

ALL MECHANICAL EQUIPMENT SHALL BE ANCHORED OR BRACED TO MEET THE HORIZONTAL AND VERTICAL FORCES PRESCRIBED IN THE 2016 CBC, SECTION 1614A.1.13 AND ASCE 7-05 SECTIONS 13.3, 13.4

THE ATTACHMENT OF THE FOLLOWING ITEMS SHALL BE DESIGNED TO RESIST THE FORCES PRESCRIBED ABOVE, BUT NEED NOT BE DETAILED ON THE PLANS:

- A. EQUIPMENT WEIGHING LESS THAN 400 POUNDS SUPPORTED DIRECTLY ON THE FLOOR OR ROOF.

 B. FURNITURE REQUIRED TO BE ATTACHED IN ACCORDANCE WITH PART 2, TITLE 24, C.C.R..
- C. TEMPORARY OR MOVABLE EQUIPMENT.

 D. EQUIPMENT WEIGHING LESS THAN 20 POUNDS SUPPORTED BY VIBRATION ISOLATORS.

 E. EQUIPMENT WEIGHING LESS THAN 20 POUNDS SUSPENDED FROM A ROOF OR FLOOR OR HUNG

FOR THOSE ELEMENTS THAT DO NOT REQUIRE DETAILS ON THE APPROVED DRAWINGS, THE INSTALLATION SHALL BE SUBJECT TO THE APPROVAL OF THE MECHANICAL/ELECTRICAL ENGINEER AND THE FIELD REPRESENTATIVE OF THE DIVISION OF THE STATE ARCHITECT.

PIPING, DUCTWORK, & ELECTRICAL DISTRIBUTION SYSTEM BRACING NOTE

PIPING, DUCTWORK DISTRIBUTION SYSTEMS SHALL BE BRACED TO RESIST THE FORCES PRESCRIBED IN ASCE 7-05 SECTION 13.3 AS DEFINED IN ASCE 7-05 SECTION 13.6.8, 13.6.7, AND 13.6.5.5, ITEM 6,

THE BRACING AND ATTACHMENTS TO THE STRUCTURE SHALL COMPLY WITH ONE OF THE OSHPD PRE-APPROVALS WITH AN OPA#, SUCH AS MASON INDUSTRIES (OPA 349), OR ISAT (OPA 485) AS MODIFIED TO SATISFY ANCHORAGE REQUIREMENTS OF ACI 318, APPENDIX D.

COPIES OF THE MANUAL SHALL BE ON THE JOBSITE PRIOR TO STARTING HANGING AND BRACING OF THE PIPE, DUCTWORK, AND ELECTRICAL DISTRIBUTION SYSTEMS.

THE STRUCTURAL ENGINEER OF RECORD SHALL VERIFY THE ADEQUACY OF THE STRUCTURE TO

SUPPORT THE HANGER AND BRACE LOADS.

POINT OF CONNECTION • POINT OF DISCONNECTION SEWER OR WASTE BELOW FLOOR OR GRADE SEWER OR WASTE ABOVE FLOOR OR GRADE STORM DRAIN OVERFLOW STORM DRAIN – OD — CONDENSATE DRAIN SANITARY VENT _ _ _ _ _ COLD WATER (DOMESTIC) HOT WATER (DOMESTIC) HOT WATER RETURN NATURAL GAS — G — MPG -MEDIUM PRESSURE GAS GAS REGULATOR SEWER CONNECTION STORM DRAIN CONNECTION WATER CONNECTION FIRE CONNECTION **—**D— BACKFLOW PREVENTER (REDUCED PRESS. TYPE) - \triangleright \downarrow ---**GATE VALVE** BALL VALVE **─**+Ò+─ **-**CHECK VALVE GAS COCK PRESSURE REDUCING VALVE BALANCING VALVE **--**|♦----CLEAN-OUT TO GRADE LOOR CLEAN OUT WALL CLEAN-OUT OR CLEAN-OUT BELOW FLOOR CAPPED LINE DOWN OR DROP UP OR RISE HOSE BIBB ALVE ON RISE OR DROP RAP PRIMER WATER HAMMER ARRESTOR (P.D.I. SIZE) DIRECTION OF FLOW REDUCER LOOR SINK FLOOR DRAIN ROOF DRAIN / OVERFLOW DRAIN AREA DRAIN / DECK DRAIN ABOVE CEILING AREA DRAIN ABOVE FINISHED FLOOR ABOVE FINISHED GRADE ACCESS PANEL ARCHITECT OR ARCHITECTURAL BELOW GRADE BELOW FLOOR CEILING CONCRETE CONTINUATION CONTRACTOR DIAMETER **DRAWINGS** LECTRICAL ELEVATION EXISTING
DEGREES FAHRENHEIT FINISH FLOOR ELEVATION FINISH OR FINISHED FEET OR FOOT SALLONS PER MINUTI HEADER HORSEPOWER HEATING, VENTILATION, & AIR CONDITIONING NVERT ELEVATION MAXIMUM MECHANICAL MANUFACTURER MUMININ MOUNTED NOT IN CONTRAC NOT TO SCALE NUMBER OPERATING POUNDS PER SQUARE INCH POUNDS PER SQUARE INCH GAUGE PLUMBING QUANTITY SHUT- OFF VALVE SPECIFICATION SQUARE FEET OR SQUARE FOOT STRUCTURAL EMPERATURE VENT THROUGH ROOF INCHES WATER COLUM

LEGEND

DESCRIPTION

SYMBOL

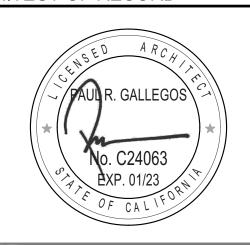
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ARCHITECT OF RECORD



ENGINEER OF RECORD



NEW PRESCHOOL
PINE VALLEY MIDDLE SCHOOL
PINE VALLEY, CA 91962

MOUNTAIN EMPIRE UNIFIED SCHOOL DISTRI

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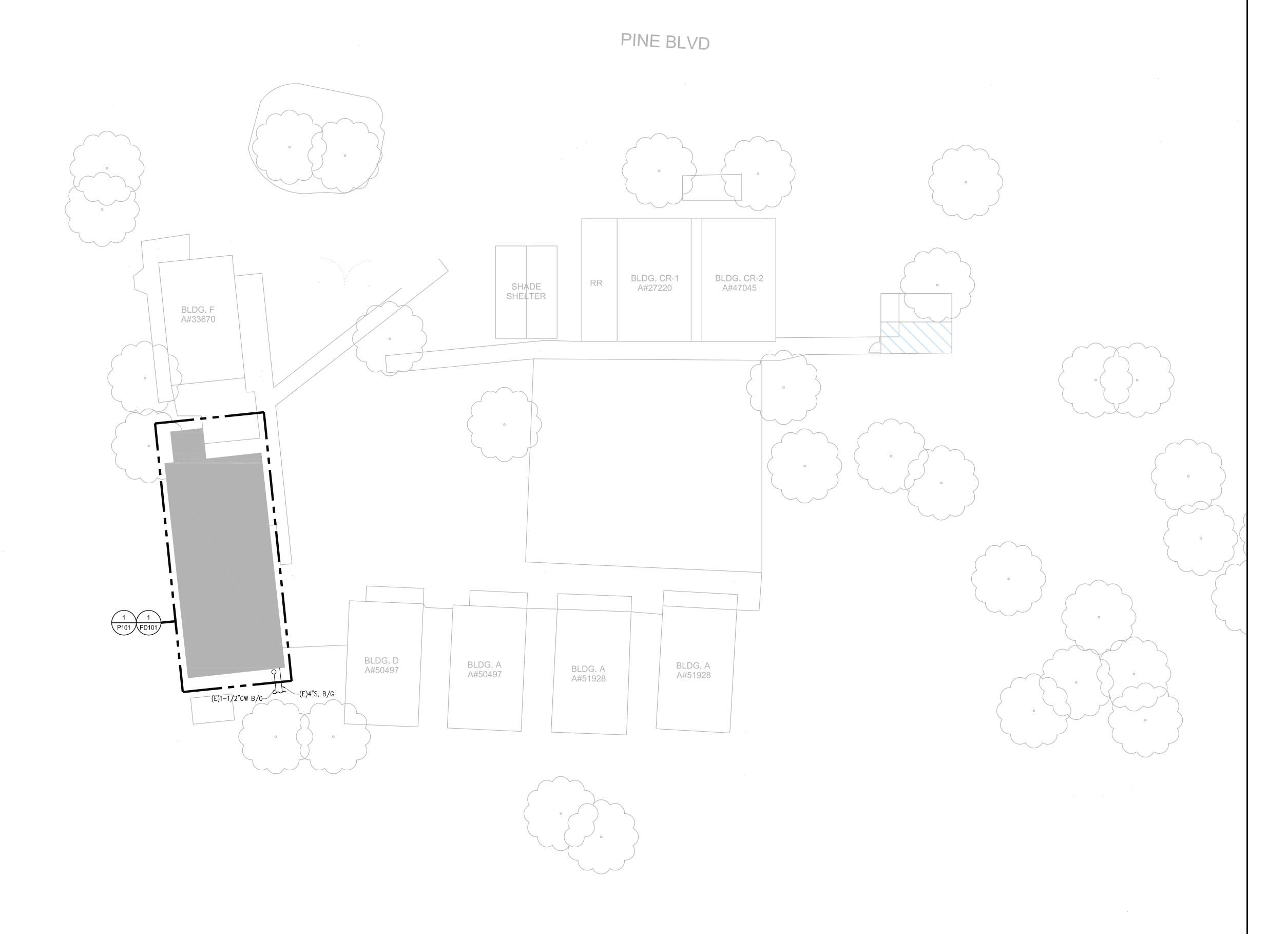
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PLOT DATE: 6/15/2022

PLUMBING NOTES

P001

AND LEGEND



PLUMBING OVERALL SITE PLAN

SCALE: 1/16"=1'-0"

GENERAL NOTES

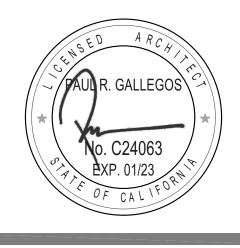
1. THE DESIGN OF THE PRODUCT WAS BASED UPON THE INFORMATION CONTAINED IN DRAWINGS PROVIDED BY THE ARCHITECT. DISCREPANCIES BETWEEN INDICATED AND ACTUAL FIELD CONDITIONS MAY EXIST. IT IS A REQUIREMENT THAT THE CONTRACTOR SHALL VISIT THE SITE AND WALK THE JOB BEFORE SUBMITTING THEIR BID AND SHALL MAKE ALL ALLOWANCES FOR PLAN/FIELD CONDITION DISCREPANCIES PRIOR TO SUBMITTING FOR BID, DURING THE CONSTRUCTION PROCESS, IF A DISCREPANCY IS FOUND TO EXIST, THE CONTRACTOR SHALL DETERMINE A FIELD SOLUTION TO RESOLVE THE PROBLEM, AND THEN FORWARD THIS INFORMATION TO THE ARCHITECT FOR SUBMITTAL TO THE ENGINEER FOR APPROVAL.

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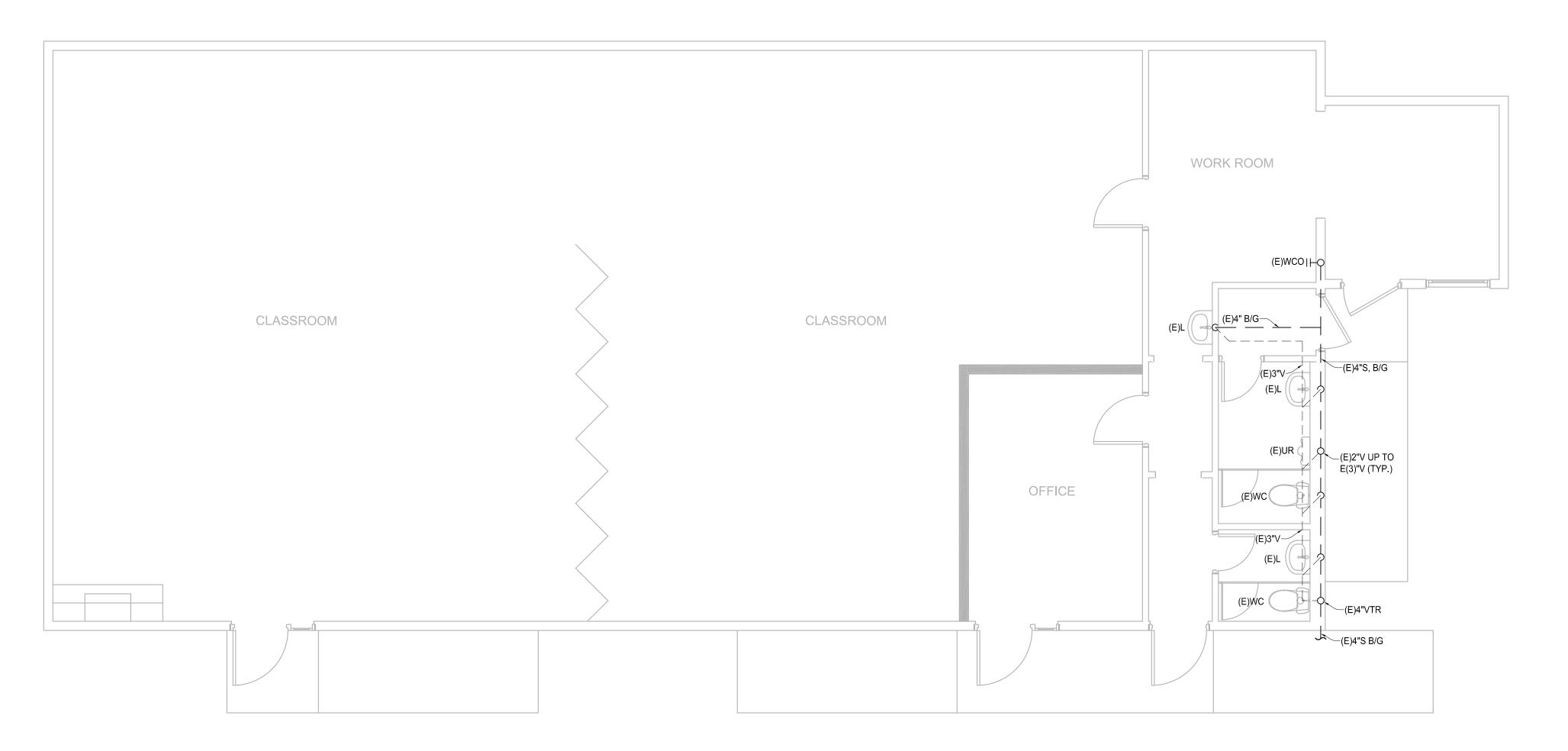
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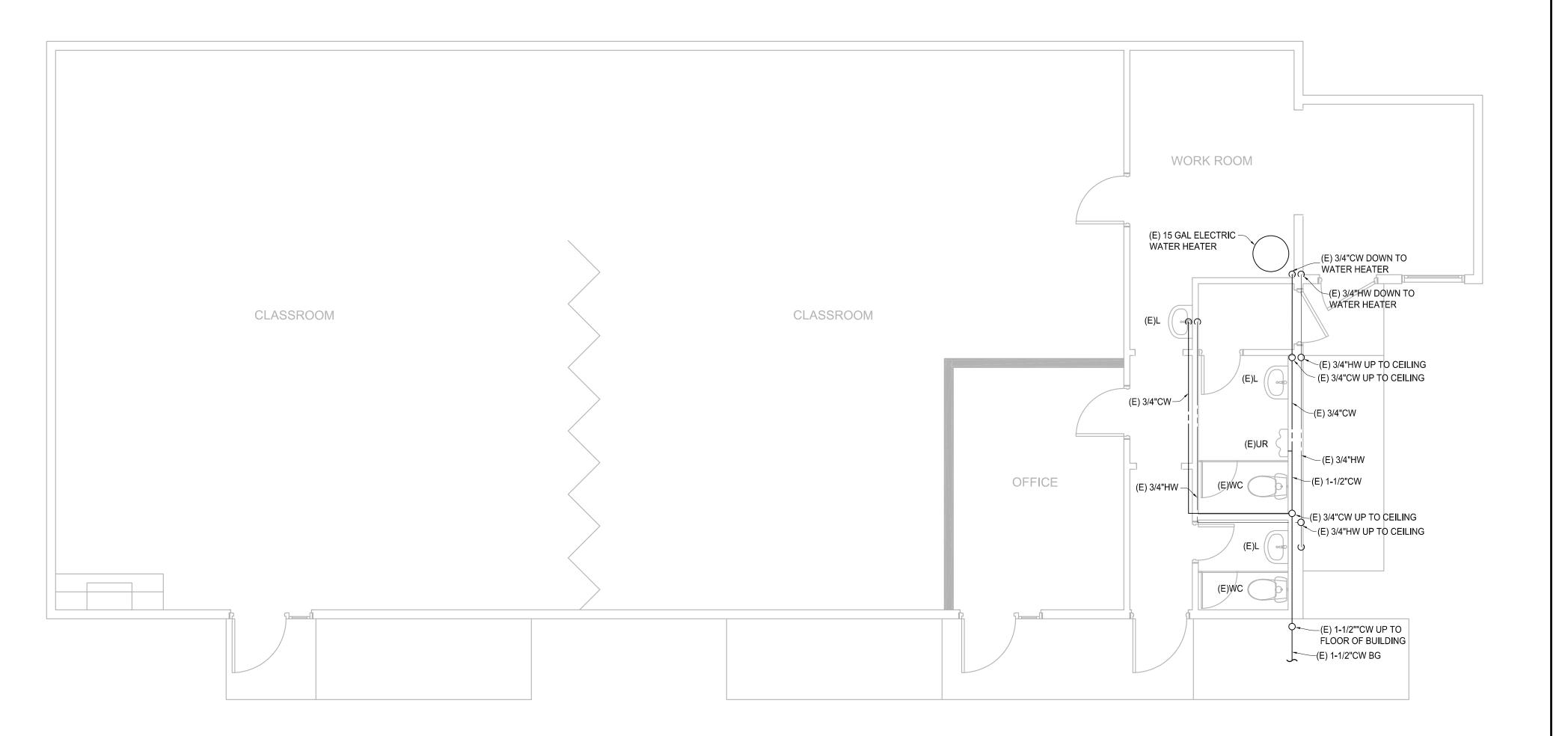
PLUMBING OVERALL SITE PLAN

PS100



BUILDING E DEMOLITION FLOOR PLAN - WASTE AND VENT

SCALE: 1/4"=1'-0"



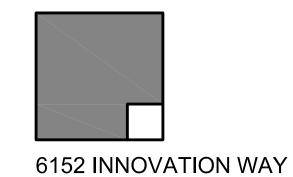
BUILDING E DEMOLITION FLOOR PLAN - WATER

SCALE: 1/4"=1'-0"

GENERAL NOTES

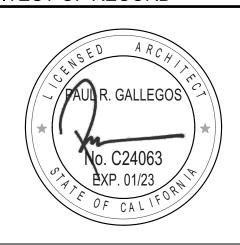
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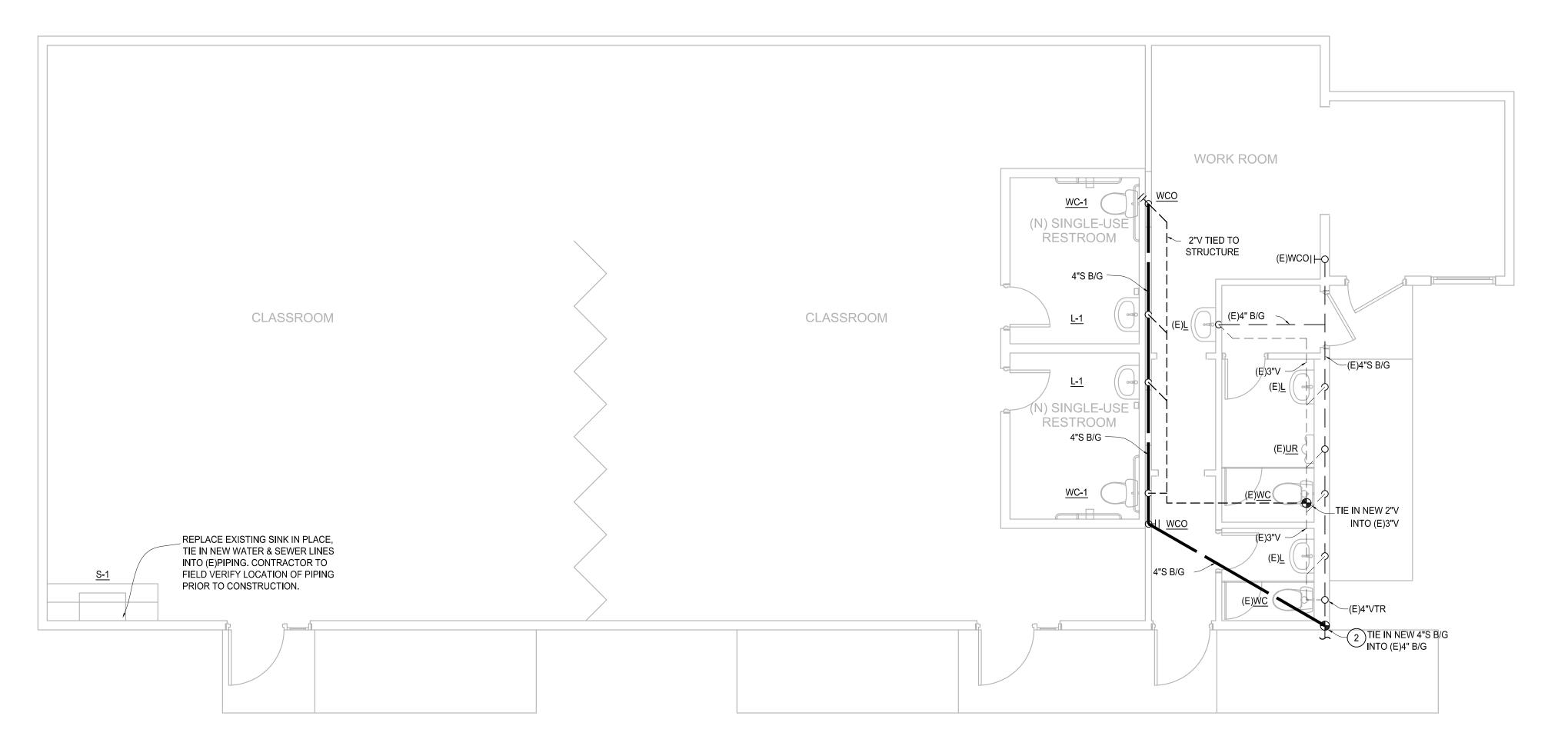
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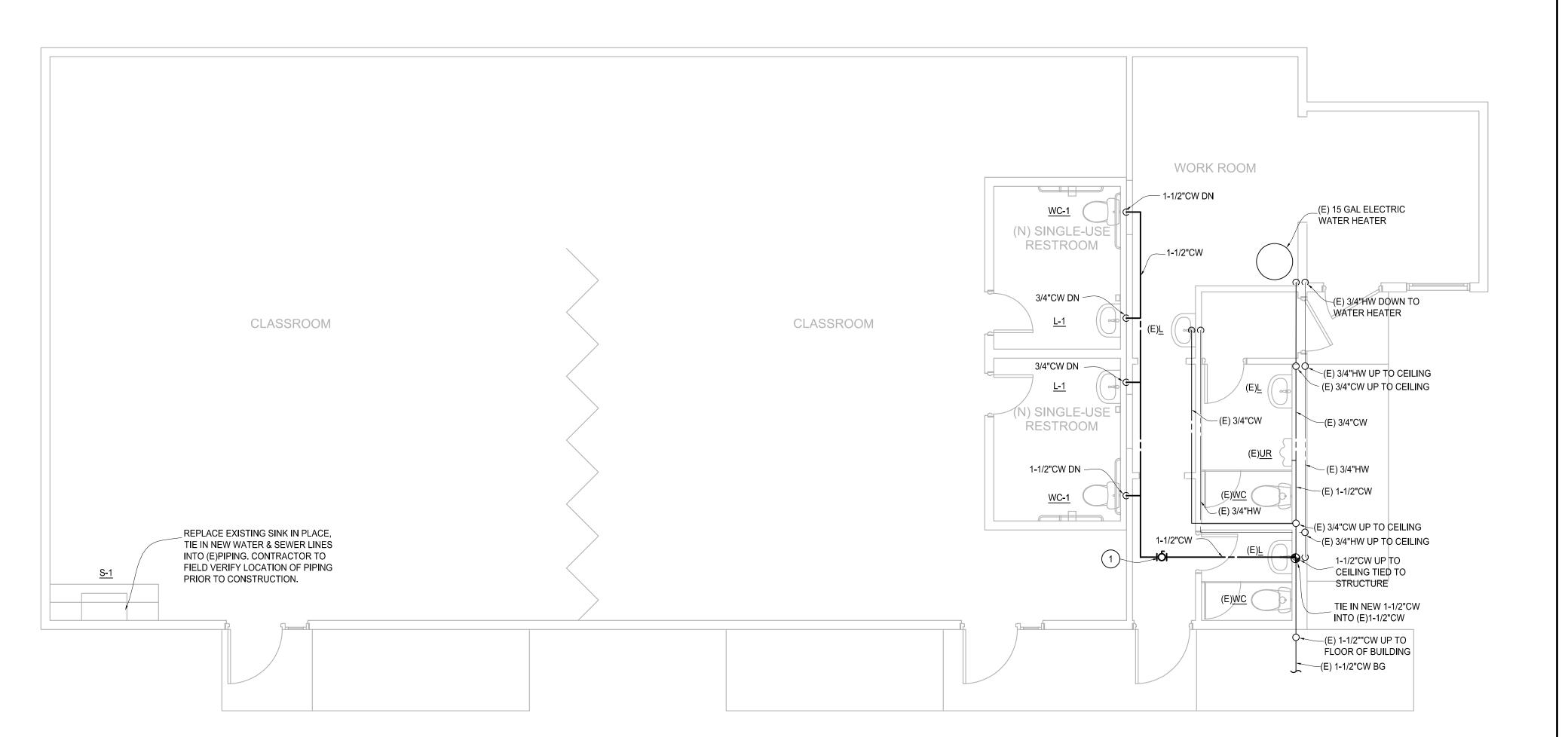
PLUMBING FLOOR PLANS

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BUILDING E DEMOLITION FLOOR PLAN - WASTE AND VENT

SCALE: 1/4"=1'-0"



BUILDING E NEW WORK FLOOR PLAN - WATER

GENERAL NOTES

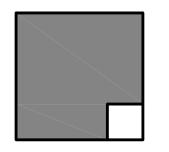
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KEY NOTES

1) PROVIDE ISOLATION VALVES FOR NEW CW LINE.

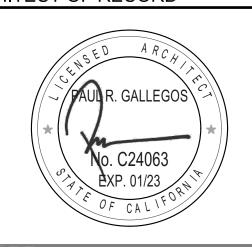
CONTRACTOR TO FIELD VERIFY INVERT ELEVATION FOR EXISTING SEWER LINE TO TIE INTO FOR NEW SEWER LINE. ROUTING SHOWN FOR DIAGRAMMATIC PURPOSES.

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PLUMBING FLOOR PLANS

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